

Church Commissioners
Mission, Pastoral and Church Property Committee
Mission and Pastoral Measure 2011

The parish of Castleford: the churches of St Paul, Glasshoughton; All Saints, Hightown; St Michael and All Angels, Castleford

(Diocese of Leeds)

Note by Joanna Chandler-Clarke

Case summary	
There are three Pastoral Church Buildings Schemes affecting the parish of Castleford:	
The church of St Paul, Glasshoughton	
This draft Scheme provides for the closure of the church of St Paul, Glasshoughton for regular public worship.	
The church of All Saints, Hightown	
This draft Scheme provides for the closure of the church of All Saints, Hightown for regular public worship.	
The church of St Michael and All Angels, Castleford	
This draft Scheme provides for the closure of the church of St Michael and All Angels, Castleford for regular public worship.	
Number of parishes/benefices or buildings affected	One parish (Castleford) affected and three church buildings (separate Schemes): <ul style="list-style-type: none"> • St Paul, Glasshoughton • All Saints, Hightown • St Michael and All Angels, Castleford
Number of representations or comments received	Of the ten representations against the scheme: <ul style="list-style-type: none"> • Seven are against the closure of St Paul, Glasshoughton • Two are against the closure of All Saints, Hightown • One is against the closure of St Michael and All Angels, Castleford <p>Seven representations have been received in favour of all three schemes.</p> <p>Four letters of comment and queries were received:</p> <ul style="list-style-type: none"> • Three in relation to St Paul, Glasshoughton • One in relation to St Michael and All Angels, Castleford
Diocesan rationale in brief	The four dwindling congregations in the Castleford Team Parish can no longer sustain four buildings. All the church buildings in the parish require a considerable amount of repair work to bring into good repair. The PCC has therefore decided to seek closure of the three unlisted

	parish churches of Castleford Saint Michael and All Angels, Glasshoughton Saint Paul, and Hightown All Saints, unite as one congregation and focus all ministry and mission in the listed parish church of Castleford All Saints.
Main themes in the representations and any unusual factors	<p>St Paul, Glasshoughton</p> <ul style="list-style-type: none"> • The future of ashes' burials in the Garden of Remembrance • Impact on the close relationship with local schools • The church is thought to be in a good state of repair <p>All Saints, Hightown</p> <ul style="list-style-type: none"> • Loss of a good local venue for concerts and performances and there has been a recent refurbishment • The church is the best of the four parish churches <p>St Michael and All Angels, Castleford</p> <ul style="list-style-type: none"> • Access to the other churches for those with mobility issues <p>The representations in favour refer to the rising cost of repairs at all four churches while numbers of worshippers and volunteers are declining.</p> <p>Many of the comments raised concerns about burials if the buildings were to close.</p>
List PCCs and votes in favour or against and electoral roll numbers	Refer to Annex A (Parish Information Form)
Brief description of church buildings	<p>St Paul, Glasshoughton</p> <ul style="list-style-type: none"> • Unlisted • Built 1902, extended 1933, by Demaine and Brierley • No great significance <p>All Saints, Hightown</p> <ul style="list-style-type: none"> • Unlisted • 1864 by Bacon and Bell; hall extension 1990 • Low to moderate significance <p>St Michael and All Angels, Castleford</p> <ul style="list-style-type: none"> • Unlisted • Built 1927-9 by Sir Charles Nicholson • Low to moderate significance but worthy of local listing
Sifting decision	The cases have been examined by the Committee's sifting panel on 6 th March 2024 who determined that they should be decided by the papers alone.
Possible decisions	<p>St Paul, Glasshoughton</p> <ul style="list-style-type: none"> (a) To allow the scheme to proceed as drafted; (b) To decide that the scheme should not be made; (c) To refer the scheme back to the Bishop <p>All Saints, Hightown</p> <ul style="list-style-type: none"> (a) To allow the scheme to proceed as drafted;

	(b) To decide that the scheme should not be made; (c) To refer the scheme back to the Bishop St Michael and All Angels, Castleford (a) To allow the scheme to proceed as drafted; (b) To decide that the scheme should not be made; (c) To refer the scheme back to the Bishop
Technical/legal issues to be considered	?

Attached are:

- Annex A: Parish Information Form
- Annex B: (i) A copy of the draft Scheme for **St Paul, Glasshoughton**;
 (ii) A copy of the draft Scheme for **All Saints, Hightown**;
 (ii) A copy of the draft Scheme for **St Michael and All Angels, Castleford**
- Annex C: A map showing the parish of Castleford, the location of the four parish churches and the parsonage house;
- Annex D: A copy of the letter referring the representations to the Bishop together with a copy of his reply;
- Annex E: (i) CBC report for **St Paul, Glasshoughton**
 (ii) CBC report for **All Saints, Hightown**
 (iii) CBC report for **St Michael and All Angels, Castleford**
- Annex F: (i) QI report for **St Paul, Glasshoughton**
 (ii) QI report for **All Saints, Hightown**
 (iii) QI report for **St Michael and All Angels, Castleford**
 (iv) QI report for **All Saints, Castleford**
- Annex G: Chronology of events
- Annex H: Photographs of the three churches proposed for closure
- Annex R: (i) A copy of the representations for **St Paul, Glasshoughton**
 (ii) A copy of the representations for **All Saints, Hightown**
 (iii) A copy of the representations for **St Michael and All Angels, Castleford**
- Annex S: A copy of supplementary correspondence with the representors and Bishop.

Introduction

1. The Committee is invited to consider the **seven representations against the St Paul, Glasshoughton** draft Scheme, the two against the **All Saints, Hightown** Scheme, one against the **St Michael and All Angels, Castleford** Scheme, the seven representations in favour of all three schemes and the four letters of comment in connection with the draft Schemes for the closure of three of the four parish churches of the parish of Castleford.
2. The Committee is invited to make individual decisions on each of the three proposed closures but to consider them in the context of all three draft Schemes being brought forward together.
3. The proposal to close all three churches had originally been in one proposal and included demolition. Following advice from the SAC, it was agreed to publish three draft Schemes in the hope that there would not be representations against the closure of all three churches. The timeline of events and the development of the proposals is set out in **Annex G**.

Background

4. The parish of Castleford has four parish churches:
 - i. **St Paul, Glasshoughton**
 - ii. **All Saints, Hightown**
 - iii. **St Michael and All Angels, Castleford**
 - iv. **All Saints, Castleford.**
5. The four churches are in a single-parish benefice which has a population of 29,159 and 88 people on the electoral roll. There is a Team Ministry established for the area of the benefice with a Team Rector and one Team Vicar.
6. The proposals emerged following the establishment of a working group in 2016 due to increasing pressures on resources within the parish. The initial recommendation from the working group was to close **All Saints, Hightown**, and to consider the future of **St Paul, Glasshoughton** and **St Michael and All Angels, Castleford**. The PCC later decided to petition to close all three churches to retain only **All Saints, Castleford**.
7. **St Paul, Glasshoughton** was designed by Demaine and Brierley and built in 1902, with the west end extended in 1933. The unlisted church is described in the CBC report (**Annex E(i)**) as having “no great significance in its fabric or contents” but contributing positively to the streetscape. The 2023 Quinquennial Inspection Report (**Annex F(i)**) describes the church as being in “acceptable” condition but works in the next five years are likely to cost between £200,000 and £500,000.
8. **All Saints, Hightown** was built in 1864 to the designs of Bacon and Bell. A hall was added on the north side of the nave in 1990. The CBC report (**Annex E(ii)**) assigns a “low to moderate significance” to the unlisted church but notes its considerable

streetscape presence. The 2023 Quinquennial Inspection report (**Annex F(ii)**) states that the building is in poor condition due to cementitious mortars, render and internal plaster causing stonework decay. It had significantly decayed since the last inspection. The tower parapet is also a major concern and other noteworthy issues include the roof and windows. The hall was also noted to be in need of modernisation. Works over the next five years are likely to cost between £550,000 and £1.2 million.

9. **Castleford, St Michael and All Angels** was built 1927-9 by Sir Charles Nicholson. The unlisted church is described in the CBC report (**Annex E(iii)**) as having “low to moderate significance” but that it is worthy of local listing. There is a detached church hall on the site. The Quinquennial Inspection report (**Annex F(iii)**) describes the church as being in an “acceptable condition” with minor repairs needed. Estimated costs of repairs over the next five years are between £100,00 and £300,000.
10. These proposals would leave **Castleford, All Saints** as the only parish church. Castleford, All Saints was built in 1866 on the site of an older church and is located nearest the town centre. It is Grade II listed and was built by H F Bacon. The 2017 Quinquennial Inspection report (**Annex F(iv)**) determined the building was “structurally sound” and was not fully costed but estimated that urgent roof repairs would cost £10,000 and stonework repairs were needed within the quinquennium costing up to £75,000. A new inspection has been commissioned but the report is not yet available. **Castleford, All Saints** has a hall, but this has been mothballed due to lack of funds for its maintenance.
11. The draft Schemes each carried the following diocesan rationale:

The four dwindling congregations in the Castleford Team Parish can no longer sustain four buildings. All of the church buildings in the parish require a considerable amount of repair work to bring into good repair. The PCC has therefore decided to seek closure of the three unlisted parish churches of Castleford Saint Michael and All Angels, Glasshoughton Saint Paul, and Hightown All Saints, unite as one congregation and focus all ministry and mission on the listed parish church of Castleford All Saints.

Summary of the themes in the Representations against the draft Scheme: St Paul, Glasshoughton

12. **Seven** representations have been received against the draft Pastoral (Church Buildings) Scheme for St Paul, Glasshoughton (see **Annex R(i)**).
13. Three of these representations are from members of Brian Gallear’s family. They are concerned about the possibility that his, and others’ ashes could be removed from the Garden of Remembrance. Their expectation is that the ashes would never be disturbed, especially not while there are living relatives. One notes that there are more recent ashes burials and that the proposals would also have an impact on other relatives. One says she has raised with the local MP her concern about the exemption of the Church of England from legislation which provides protection while

there is living family in local cemeteries. These representors request that a decision/provision be made to safeguard the land in which the burials took place and would like it noting that it is unlikely that many of these ashes' burials can be relocated because of the length of time means recovery of the casket and ashes is extremely unlikely.

14. A neighbour of St Paul, Glasshoughton is against the closure because she says it is in the best state of repair of the three churches being considered for closure, as well as being the biggest and furthest from the parish church. She says that the church is also used by local schools for various occasions and there have been quite a few recent funerals. She is also concerned that, if closure goes ahead, the church will be sold, knocked down and be built on because it is unlisted, meaning her father-in-law's ashes will be moved from the churchyard.
15. Another representor against the closure of St Paul, Glasshoughton, has family ties with the church, having held every family occasion there for years. She feels the Church should be expanding by holding events to encourage more families to the church, rather than closing its doors. She sees the church as an important part of the local Glasshoughton community which could help combat a rise in anti-social behaviour.
16. The relationship between St Paul's and local schools is raised by another local resident, who also has close family links to the church because her late parents were heavily involved. She also has relatives' ashes buried in the churchyard and thinks the possibility that moving people's headstones will cause much upset among families. She also says that residents have not had the opportunity to use the church much since COVID because it has barely been open.
17. The final representor specifically about St Paul, Glasshoughton, also highlights the close links with the schools and local community, as well as the life events which take place at the church, including weddings.

Summary of the themes in the Representations against the draft Scheme: All Saints, Hightown

18. There are **two** representations against the closure of **All Saints, Hightown** (see **Annex R(ii)**). The first is from a parishioner who has close family links to the church through occasions such as baptisms, confirmations and weddings. Many family members are buried in the churchyard which he believes should be untouched forever. The church should remain open, he says, because it is still very much being used as a place of worship for a few people and it is admired as a local concert venue, including by the Castleford Male Voice Choir. In addition, it has been refurbished recently to a very high standard. If necessary, he thinks that the church should be repurposed for the community, rather than demolished.
19. The second representor against the closure of All Saints, Hightown is a parishioner and former churchwarden. Taking each of the four parish churches in turn, he argues that All Saints, Hightown, should be kept open as opposed to Castleford

parish church. The major issues for the parish church (**All Saints, Castleford**) are the lack of parking and light, as well as having no church hall; its position in the town centre means alternative community uses, such as a museum, are more viable. St Paul, Glasshoughton also suffers from a lack of parking and a church hall. St Michael, Castleford is too large to keep warm and has poor sound quality, but it does have plenty of car parking and a church hall. All Saints, Hightown, is clean, inclusive, has a hall, plenty of parking and could be considered for listing. In addition, the area is one of the largest developed areas of the town, so the church should only be used for worship or as a community hub. His final concern about the closure of Hightown is in relation to the graves and he says any idea that they could be moved is outrageous.

Summary of the themes in the Representations against the draft Scheme: St Michael and All Angels, Castleford

20. There was one representation against the draft Pastoral (Church Buildings) Scheme for **St Michael and All Angels, Castleford** (see **Annex R(iii)**). It comes from a member of the congregation with mobility issues who is concerned about being able to access the other churches safely and without spending money on expensive taxis. She also attends a local community group in the church hall and looks forward to the friendship it provides.

Summary of the themes in the Representations in favour

21. All **five** of the representors in favour are in favour of all three draft Schemes. One representor did not provide reasons but confirmed that she was in favour of all three church closures.

22. The incumbent of the benefice, in his personal capacity, is in favour of the proposals. The main reasons for his support are declining finances and congregations which mean that resources are used to keep going, rather than on mission to the community. The tight finances mean that quinquennial inspection recommendations cannot be carried out in full and parish share has not been paid in years. Closing the churches would enable the parish to hold more events in fewer buildings, thus maximising limited resources. He acknowledges that the closures will be painful but considers them inevitable, so the process offers a dignified and hopeful solution.

23. One PCC member makes individual representations in favour for each of the three churches. Each letter was similar, with a specific point to support closure of the respective church. His general points in favour of closure of all three churches are the falling numbers on the electoral roll and worshipping in the churches, an ageing congregation, declining income and increasing costs (including of repairs), lack of capital funds and pressure on volunteer and clergy time and resources. He says the current Rector has brought new younger people into the PCC and congregation and the Church is beginning to reconnect to the wider community in a variety of ways, but these require lots of volunteer time. Closing the churches will reduce the drain on these resources and free them up for more mission and evangelism activity. He

urges that the closures should come with new investment in the parish church, otherwise they can be seen as negative and regressive. Comparing the Church to a business, he has decided the proposals are positive and required to ensure a future Anglican presence in the town. Specifically, he supports the closure of **All Saints, Hightown** because of the high cost of repairing the church tower and roof. He says **St Michael and All Angels** has fewer than ten regular worshippers and significant investment is needed for a new heating system, and supports the closure of **St Paul, Glasshoughton**, because it has fewer than five weekly worshippers.

24. Another representor, a former parishioner now residing in Tenerife, in favour also highlighted concerns, particularly in relation to the process after closure and the burials of ashes in the churchyards given her husband's ashes are in the grounds of **St Paul, Glasshoughton**. The closures will leave a vast area without church facilities from Methley to the town centre covering such areas as Whitwood, Cutyske, Hightown and Glasshoughton. She asks about provision for those who cannot drive and rely on public transport, and whether this will be taken into account when service times are arranged at **All Saints, Castleford**. She also asks what will happen to the equipment in the church halls, especially because at least one of the churches has a purpose-built hall for catered functions.

25. The final representor in favour of the closure of the three churches is a volunteer and worshipper in the parish. She thinks that the closure of the churches will enable them to concentrate on running one church and spend more time in the community and growing the church. A lot of time and energy is wasted on caring for the buildings, but there is not enough money to care for them effectively, and they all need new lighting and heating and other facilities. She describes being mentally and physically exhausted from balancing all the volunteering activities she does for the church, but she is hopeful for the future.

Summary of letters of comment

26. All the letters of comment refer to the future for the church buildings if they are closed. A local resident is concerned about the possibility of demolition and replacement of **St Michael and All Angels, Castleford** with housing. She would prefer for the church to be sold to a community group/charity group for use of the local residents. The other three all comment on the closure of **St Paul, Glasshoughton**. One is concerned about his grandfather's memorial stone, which he would like to retrieve if the site is closed. Two others with family ashes' burials would like to know what will happen to them if the church is sold.

Summary of the Bishop's initial views: general

27. Following normal practice, the correspondence received was sent to the Bishop of Leeds to respond. The letter to him and his response are attached in **Annex D**.

28. The Bishop says that the proposals came from the parish following conversations which started in 2016 and the timing of the proposals to close all three churches at

concurrently was prompted by the vacancy of the Team Rector. The PCC had felt for some time that the position of having four churches (and three church halls) was not sustainable due to the drain on parish resources. Figures provided by the Bishop show difficulties paying Parish Share with arrears totalling £425,487.

29. The proposal for **All Saints, Castleford** to be the focus for all ministry and mission going forward while closing the other three church buildings is because it is considered to be the 'parish church' of Castleford and it has the longest history. In addition, it is the only listed church within the parish which makes it easier to apply for, and to receive, grant funding for the building. The process of discerning which churches were most appropriate for closure was mostly carried out by a working group which included representatives of the four churches, the Area Dean, Deanery Lay Chair, Archdeacon and Diocesan Buildings for Mission Officer. A local questionnaire and a review of current building use and finances informed their discussions. The group recommended that **All Saints, Castleford** should remain but that further consideration was needed as to whether each of the other churches was needed pastorally, or whether they should be repaired and redeveloped. Following the vacancy of the Team Rector post, the PCC voted to close the three churches (a previous vote had related solely to the closure of **All Saints, Hightown**) in order to make the post more attractive. There had been an initial plan to build a new worship centre from the funds from the sale of the churches, alongside redevelopment of **All Saints, Castleford**, but it was realised that there would not be sufficient funds for this.
30. The Bishop says the concerns about burials especially **St Paul, Glasshoughton** were addressed in letters to families of those buried in the churchyards – where they could be identified – along with a copy of the draft Scheme. The letter explained that no decision had been made about the future of the buildings and invited the families to a drop-in session on 7th August 2023. The Bishop outlines the options for the ashes if no use can be found and proposals for demolition are brought forward.
31. He says that the hall at **All Saints, Castleford** would be refurbished, having been mothballed due to lack of funds, and the hall at **St Michael and All Angels, Castleford** would be used and retained in the meantime. The PCC is also looking at redeveloping the church building of **All Saints, Castleford** to improve facilities in the church so that more groups can use the building.
32. Various concerns raised by the representors about **All Saints, Castleford** being the sole parish church are addressed by the Bishop including transport links and possible review of service times to suit varying needs, the church car park and the availability of parking on nearby streets and the inclusion of lighting improvements in the redevelopment of the church.
33. The Bishop says that closing the three churches will provide for the better cure of souls in the parish because the current position cannot be sustained; it costs the parish £53,000 per year to keep the four churches open which has an impact on the ability of the parish to pay their Share. The Bishop suggests the closures together will lead to revitalisation in the parish, attracting and retaining new worshippers, and

enabling time and energy to be spent on mission and outreach rather than on maintaining buildings.

34. He says the Diocese is preparing to grow the church in the town and that they are already supporting the parish through the Barnabas: Encouraging Confidence project which supports children and young people's work. The DBF has agreed to give its portion of any sale proceeds of the three churches to the PCC to help it develop **All Saints, Castleford** as a hub for mission and ministry in the town, on the agreement the parish pays its requested Share for ministry costs in the parish and wider diocese.

Summary of the Bishop's initial views: St Paul, Glasshoughton

35. The Bishop states that **St Paul, Glasshoughton** is not the largest church in the parish in terms of capacity (**All Saints, Castleford** has more capacity), nor is it in the best state of repair as demonstrated by the repair figures in the most recent Quinquennial Inspection reports.
36. There are no regular Sunday services, but the church opens for mass every week with five parishioners attending. The Bishop says that two of these only ever attend services at **St Paul, Glasshoughton**. Pre-COVID, there had been a Sunday service with only 11 attendees.
37. The Bishop sets out the process for fixed contents, including monuments and memorials during the use-seeking period and once a future use is known. He notes that families can record their interest in a memorial or monument during the use-seeking period to be dealt with once a new use is secured. If the building remains extant, the Bishop says the area for cremated remains – a distinct area away from the building – would be excluded from any future disposal of the building.
38. Since the 2015 Quinquennial Inspection report, only minor maintenance work has been carried out on the building: repair works within the next five years are estimated at £550,000 per the 2023 report commissioned by the DBF.
39. The local school uses the building for an Easter Service, a leaver's service, a harvest service, Christingle and other occasional visits. The Bishop says the school has been made aware that it could use **All Saints, Castleford** in the future.

Summary of the Bishop's initial views: All Saints, Hightown

40. Responding to the view that Hightown is one of the largest developed areas in Castleford, the Bishop says that all the churches are within one square mile. **All Saints, Hightown** is further away from the main shopping area and transport hubs, separated by a level crossing.
41. There are no regular Sunday services; there is a weekly Tuesday morning service which has nine attendees, three of whom also attend **All Saints, Castleford**. Pre COVID, there had been a Sunday service with an attendance of 14.

42. The Bishop again sets out the process for fixed contents, including monuments and memorials during the use-seeking period and once a future use is known.
43. The 2016 Quinquennial Inspection report found the building to be in poor condition. Since then, only minor maintenance has taken place. The 2023 report, commissioned by the DBF, found the condition had worsened and it identified major issues caused by inappropriate cementitious mortars and recommended complete rebuild of the tower parapet. The Bishop says the repairs to **All Saints, Hightown**, would cost £1.2 million over the next five years.

Summary of the Bishop's initial views: St Michael and All Angels, Castleford

44. The Bishop says that the usual Sunday attendance at **St Michael and All Angels, Castleford** is 12, compared to 28 at **All Saints, Castleford**. The worshipping community of 34 also includes a monthly service held by the Polish community. The numbers attending the church have fallen slightly since the pandemic.
45. He again repeats the process for fixed contents, including monuments and memorials during the use-seeking period and once a future use is known.
46. He says only minor maintenance has taken place since the 2015 Quinquennial Inspection report. The DBF commissioned a further report in 2023 which the Bishop says costed repair work at approximately £300,000 over the next five years.
47. **St Michael and All Angels, Castleford** is used by local schools for Nativity services but there have been concerns due to the lack of heating in the building. The local school also wants to start visits to illustrate faith and heritage. The school has already been made aware that these activities could move to **All Saints, Castleford**.

Summary of the Bishop's supplementary views

48. Following the Sifting Committee's consideration of the case, further questions were identified to help assist the Committee which were referred to the Bishop. His reply is in **Annex S**. With the exception of one of the representors confirming his representations in favour of the draft Schemes stood, no further comments were received following circulation of the Bishop's letter to the representors in line with normal practice.
49. The Bishop says it was the intention for all three closures to be considered at the same time. The PCC wish to be released from maintenance of the three churches and channel time, energy and finance to focus on mission and ministry for the town from **All Saints, Castleford**. He says it would be disappointing if the Commissioners did not approve all three draft Schemes but said that the Diocese would continue with the closure of just one or two of the churches if the Committee decided that any of the draft Schemes should not proceed.

50. The Polish community which uses **St Michael and All Angels, Castleford** would be welcomed at **All Saints, Castleford** and provision would be made to allow them to continue to hold their monthly service.

51. The future of the hall at **St Michael and All Angels, Castleford** will depend on finding a sustainable new use for the building.

52. There is disabled access at **All Saints, Castleford**.

The Issues

53. The main issues to be considered for the draft Scheme affecting the church of St Paul, Glasshoughton are as follows:

- i. Has the proposal to close **St Paul, Glasshoughton** been brought forward for a proper purpose? Is there a continuing pastoral need for the church?
- ii. Will the proposal to close **St Paul, Glasshoughton** further the mission of the Church and make better provision for the cure of souls in the parish as a whole?
- iii. Is there local support for the proposed closure?
- iv. Are the concerns over interred ashes a reason why the draft Scheme should not proceed?
- v. Will links with local schools be harmed if St Paul's closes?

The main issues to be considered for the draft Scheme affecting the church of All Saints, Hightown are as follows:

- i. Has the proposal to close All Saints, Hightown been brought forward for a proper purpose? Is there a continuing pastoral need for the church of All Saints, Hightown?
- ii. Will the proposal to close All Saints, Hightown further the mission of the Church and make better provision for the cure of souls in the parish as a whole?
- iii. Is there local support for the proposed closure?
- iv. Should All Saints, Hightown be preferred to All Saints, Castleford as the church to be retained if only one church is needed in the parish?

The main issues to be considered for the draft Scheme affecting the church of St Michael and All Angels, Castleford are as follows:

- i. Has the proposal to close St Michael and All Angels, Castleford been brought forward for a proper purpose? Is there a continuing pastoral need for the church?
- ii. Will the proposal to close St Michael and All Angels, Castleford further the mission of the Church and make better provision for the cure of souls in the parish as a whole?
- iii. Is there local support for the proposed closure?
- iv. Would closure of this church have a disproportionate effect on disabled people? If so, would this be sufficiently mitigated by suitable provision for transport and access to **All Saints Castleford**?

For decision:

The possible outcomes are:

St Paul, Glasshoughton

- (a) To allow the scheme to proceed as drafted;
- (b) To decide that the scheme should not be made;
- (c) To refer the scheme back to the Bishop.

All Saints, Hightown

- (a) To allow the scheme to proceed as drafted;
- (b) To decide that the scheme should not be made;
- (c) To refer the scheme back to the Bishop.

St Michael and All Angels, Castleford

- (a) To allow the scheme to proceed as drafted;
- (b) To decide that the scheme should not be made;
- (c) To refer the scheme back to the Bishop.

Information for the Committee

54. The Mission and Pastoral Measure states that a pastoral scheme may make a declaration of closure for regular public worship in respect of a church which is not "required" as a parish church or chapel of ease. Section 15.2 of the Code of Recommended Practice to the Measure states that:-

"The Measure refers to the church not being "required". The implication of this is clearly that the primary question is whether the building is needed pastorally. This needs to be considered in the context of s.3(1) of the Measure that the Committee should have regard to worship, mission and community as central to the work of the Church of England. Whilst knowledge that a particular church is in a bad state of repair and that adequate finance to pay for the necessary works is not available may often be an important factor, it should not normally be the principal one, although the DMPC, in carrying out its functions, has to

have regard to the financial implications for the diocese and Church of England as a whole."

55. The three current draft schemes provide only for the closure of the three churches for regular public worship, which would result in them becoming vested in the DBF which would become responsible for keeping the buildings wind and watertight during the use-seeking period. They would not affect the churchyards which would remain the responsibility of the PCC and would not themselves affect burials or interred ashes. A further Church Buildings (Uses and Disposal) Scheme would be required in each case to provide for the future use and disposal of the building or its demolition and disposal of the site. These schemes might include provision for the disposals to include annexed churchyard and any disturbance of burials or cremated remains would be dealt with then and would be subject to further representation rights.
56. The Church Commissioners do not consider that they are subject to the PSED when exercising functions under the Mission and Pastoral Measure 2011, but should that not be correct, without making a concession the Committee should consider whether the proposals would discharge their duties under the PSED if it did apply. There is a factor which may be relevant to the Committee's assessment in this case, as one of the representations raises the issue of the impact on parishioners with disabilities. That representation is specifically about St Michael and All Angels, Castleford but the same would apply to the other two churches.
57. In terms of the specific issue, legal officers can give advice to the Committee at the meeting, but the Committee may wish to consider the following points:
- The Bishop indicates that it is expected that lifts would be offered to take anyone with mobility issues to All Saints, Castleford.
 - The Bishop has also confirmed that All Saints, Castleford has disabled access.

(Signed) Joanna Chandler Clarke

Church House
Great Smith Street
London SW1P 3AZ

14 March 2024

PARISH INFORMATION FORMa

Annex A

It is important that the information provided on this form is accurate as the Church Commissioners may rely on such information in their consideration of representations and their decision could be open to legal challenge if any facts upon which they have relied are found to be incorrect.

Please email the completed form(s) to: pastoral@churchofengland.org

BENEFICE	Castleford	
Incumbent/Priest-in-Charge (Date of institution/licensing)	Revd Keith Freeman – 02/09/2020	
Patron(s)	Duchy of Lancaster and Bishop of Leeds - alternate	
Parsonage house (address)	15 Barnes Road, Castleford, WF10 5AA	
PARISH	Castleford Team Parish	
Population of parish (adults & children) (Please state how computed)	29159 – 21.6% children – calculated from 2021 census data	
Churches and sittings (See Note 1 overleaf) Date built (approx.)	All Saints Parish Church 1866 – seats 295	All Saints Hightown 1864 – seats 160
	St Paul Glasshoughton 1902 – seats 220	St Michael and All Angels Castleford 1929 – seats 185
Church services and numbers attending (See Note 2 overleaf) <i>Example:</i> <u>1st Sunday</u> 10.00am Holy Communion Common Worship A (30)	<u>Sundays (Parish Church)</u> <i>Time:</i> 9.30am <i>Service:</i> Common Worship Sung Eucharist <i>Numbers:</i> 25 appx	<u>Sundays (St Michael's)</u> <i>Time:</i> 11am <i>Service:</i> Sung Common Worship Eucharist <i>Numbers:</i> 12 appx
	<u>Sundays (Parish Church)</u> <i>Time:</i> 4pm - 1 st Sun of Month <i>Service:</i> Evening Prayer and various. <i>Numbers:</i> 9 appx	<u>Sundays (St Michael's)</u> <i>Time:</i> 12.30pm (first Sunday of Month) <i>Service:</i> Polish Mass <i>Numbers:</i> 20 appx.
	<u>Saturdays (Parish Church)</u> <i>Time:</i> 9.30am <i>Service:</i> Mass for the Blessed Virgin Mary <i>Numbers:</i> 4 appx	<u>Weekdays (St Michael's)</u> <i>Time:</i> 6.30pm (if required) <i>Service:</i> Said Common Worship Eucharist <i>Numbers:</i> 0-3
	<u>Weekdays (Parish Church)</u> <i>Time:</i> 6.30pm every Tue during BST <i>Service:</i> Said Common Worship Eucharist <i>Numbers:</i> 7 appx	<u>Weekdays (Hightown)</u> <i>Time:</i> 10am <i>Service:</i> Common Worship Eucharist with hymns <i>Numbers:</i> 10 appx
	<u>Weekdays (St Paul's)</u> <i>Time:</i> 10am <i>Service:</i> Said Common Worship Eucharist. <i>Numbers:</i> 6	
Electoral roll (for the last five years – the most recent first)	2023 = 88; 2022 = 80; 2021 = 76; 2020 = 77; 2019 = 75	
Staff/lay assistance (e.g. curates, lay readers, NSMs etc.)	Team Vicar – Revd Grzegorz Ruszczynski	
Church traditions and characteristics of that style of worship	All Liberal Catholic (Parish Church High (incense) rest moderate, all ceremonial with robes and sacramentally centred).	<i>If there is more than one church in the parish please indicate any difference in the church traditions in the individual churches</i>
Please indicate whether there is a PCC Resolution under Paragraph 20 of the House of Bishops' Declaration on the Ministry of Bishops and Priests (if so, please explain the exact nature of the alternative arrangements made, and the reasons for requesting the same).	Declaration on the Ministry of Bishops and Priests	YES NO NOT VOTED <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>

Parochial church organisations and number of regular attenders	Dementia Friendly Pop Up Café (Hightown Church Hall (0-10 visitors, varies greatly)), Knit and Nat Friendship Group (St Michael's Church Hall (18 people)).	
Other parochial and/or community buildings	Church halls at All Saints Parish Church, All Saints Hightown and St Michael and All Angles Castleford	<i>Please indicate if any building is not primarily for church use</i>
Other denominations	Various Free Evangelical Churches, Salvation Army, Methodist and Catholic.	
Sociological make-up of parish (e.g. rural, industrial, residential etc.)	Mainly residential and retail with some industry.	
Shopping and other local facilities (e.g. Post Office, General Store, Doctor, Dentist, Police Station, Pubs, Clubs, other recreational centres)	All facilities related to towns, as notes adjacent, are provided but with no central Police Station. Also bus and train stations present.	
Bus services (please give brief details of any daily bus service around the parish and/or to the nearest town/village centre and their relevance in enabling attendance at church services)	Local bus services exist across what is essentially a small town. Also bus services into neighbouring conurbations such as Wakefield, Pontefract and Leeds.	

POPULATION		
1	<i>Is the population increasing or decreasing and, if so, to what extent and over what period? (In case of doubt about population figures, the local authority may be able to help.)</i>	Increasing at rate of residential development, slowly.
2	<i>How is the population distributed (e.g. in one or more centres, or dispersed over the parish)?</i>	Dispersed across town.
PAROCHIAL LIFE ETC.		
3	<i>Approximately how many of those on the church electoral roll live outside the parish?</i>	Approx 5%.
4	<i>To what extent does the congregation come from outside the parish?</i>	Predominantly in parish.
5	<i>Does the congregation increase significantly during the holiday season? If so, please give details.</i>	Slightly at the Parish Church, often for reasons of banns but also for other reasons, such as visiting.
6	<i>Do a significant number of parishioners attend other Anglican churches in the area? If so, give details (eg for reasons of convenience or because the same congregation attends different churches in rotation).</i>	No, only one or two go to other services in the benefice at other churches.
7	<i>Has any other denomination a strong following in the parish? If so, please give brief details.</i>	The Free Evangelical, Salvation Army and Catholic Churches have a good attendance. The Methodist Church is on par with the Parish Church in numbers.
CHURCH SCHOOLS		
8	<i>Is there a church school? If so, please state name and type.</i>	No.
9	<i>Approximately how many pupils are there?</i>	N/A
10	<i>From which area are they drawn?</i>	N/A
11	<i>Are the school buildings available for parochial purposes? If so, please give details.</i>	Yes, to non-church schools.
12	<i>Please also state name and type of other schools in the area.</i>	Non-Church Schools: Castleford High School, Glasshoughton Infant Academy, Castleford Park Junior Academy, Wheldon Infants School and Nursery, Smawthorne Henry Moore Primary School, Half Acres Primary Academy, Ackton Pastures Primary Academy, Three Lane Ends Academy.
MISCELLANEOUS		
13	<i>What is the parish share, and to what extent does the PCC meet the working expenses of the clergy or lay workers?</i>	£44,014. I claim 60% of my expenses and these are met. I do not claim milage except that which is recharged, such as funerals.
14	<i>Please indicate what, if any, trust funds are available to the parish and for what purposes.</i>	None.

ARE THERE ANY OTHER FACTUAL POINTS WHICH WOULD ENABLE THE CHURCH COMMISSIONERS TO UNDERSTAND THE CHARACTER OF THE PARISH BETTER ?

PLEASE: (i) INDICATE THE LEVEL OF SUPPORT, OR OTHERWISE, OF THE PCC FOR THE PROPOSALS/DRAFT SCHEME (OR ORDER); AND/OR (ii) PLEASE SHOW THE VOTING FIGURES (IF A VOTE WAS TAKEN)

	<i>For</i>	<i>Against</i>	<i>Abstentions</i>
<i>On the local formal consultations:</i>	17	0	2
<i>On the published draft Scheme:</i>			

Completed by(Incumbent/Priest-in-Charge/etc.) Date

Note 1:	Please describe by dedication etc. and state whether the building is a parish church, chapel of ease or other place of worship (eg mission hall etc.)
Note 2:	Please state (1) the frequency of church services, (2) the time, (3) the type and/or name of the service (e.g. Holy Communion, Sung Eucharist, Morning Prayer etc.), (4) the service book used and (5) the average congregation for each service.

SUMMARY OF MAIN PROVISIONS OF DRAFT SCHEME (NOT PART OF THE DRAFT SCHEME)

This draft Scheme provides solely for the church of St Paul, Glasshoughton, being a parish church in the Castleford Team Parish in the diocese of Leeds, to be declared closed for regular public worship.

DRAFT

PASTORAL CHURCH BUILDINGS SCHEME

This Scheme is made by the Church Commissioners ("the Commissioners") this day of 202 in pursuance of the Mission and Pastoral Measure 2011, the Right Reverend Nicholas, Bishop of Leeds, having consented thereto.

PART I

Declaration of closure for regular public worship

1. (1) The church of Saint Paul, Glasshoughton, being one of the parish churches of the Castleford Team Parish in the diocese of Leeds, shall be declared closed for regular public worship by this Scheme.

(2) Subject to any provisions of the Parochial Registers and Records Measure 1978 which apply thereto and any directions thereunder, any register books and records of that church which remain in parochial custody shall be dealt with as the Bishop shall direct.

PART II

Coming into operation of this Scheme

2. (1) Part I of this Scheme shall come into operation upon such date as the Commissioners, after consultation with the Bishop, shall determine.

(2) Part II of this Scheme shall come into operation upon the date on which it is made by the Commissioners.

In witness of which this Scheme has been duly executed as a deed by the Church Commissioners.

SIGNED by the)
)
Right Reverend Nicholas,)
)
Bishop of Leeds.)

Executed as a Deed by the Church Commissioners for England
acting by two authorised signatories:

Signature of Authorised Signatory

Signature of Authorised Signatory

Note by the Church Commissioners' office (not forming part of the draft Scheme)

The Commissioners have been told by the Bishop on the advice of his Diocesan Mission and Pastoral Committee that the rationale behind the diocesan proposals is as follows:

The four dwindling congregations in the Castleford Team Parish can no longer sustain four buildings. All of the church buildings in the parish require a considerable amount of repair work to bring into good repair. The PCC has therefore decided to seek closure of the three unlisted parish churches of Castleford Saint Michael and All Angels, Glasshoughton Saint Paul, and Hightown All Saints, unite as one congregation and focus all ministry and mission on the listed parish church of Castleford All Saints.

Publication of this draft Scheme by the Commissioners does not mean that we have taken a view on the merits of the diocesan case. We have a duty to publish draft Schemes based on diocesan proposals.

If we receive representations against the draft Scheme, we will send all representations, both for and against, to the Bishop whose views will be sought. Individual representors will then receive copies of our correspondence with the Bishop (including copies of all the representations) and they may comment further in writing to us in light of the diocesan response if they so wish.

If there are no representations against the draft Scheme, we will make the Scheme and arrange for it to be brought into effect.

This Scheme, if implemented, would have the effect of closing St Paul's Church, Glasshoughton for regular public worship and vesting it in the Leeds Diocesan Board of Finance for care and maintenance pending a decision on its future. Any such decision would be the subject of a second Scheme, called a Pastoral (Church Buildings Disposal) Scheme, which would be prepared and published by the Church Commissioners, and with regard to which an opportunity would be given for

representations to be made. In terms of implementing this Pastoral Church Buildings Scheme subject to the consideration of any representations, the Commissioners will need to be satisfied that all aspects of title relating to the church, including access and any rights of way, are in order before they make the Scheme. Banns of marriage may not be called nor marriages solemnized in the church from the date of closure.

This is one of three Schemes being consulted on regarding the parish churches within the Castleford Team Parish. All three draft Schemes for the proposed closure of Castleford St Michael and All Angels; Glasshoughton Saint Paul; and Hightown All Saints are being published at the same time.

Earlier consultation process under section 21 of the 2011 Measure

When the interested parties had been consulted under the above, the demolition of all three of these churches that were to be declared closed for regular public worship also formed part of those draft proposals. Please however note that the Bishop has asked that the declaration for closure (only) be dealt with at this stage.

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This draft Scheme provides solely for the church of All Saints, Hightown, being a parish church in the Castleford Team Parish in the diocese of Leeds, to be declared closed for regular public worship.

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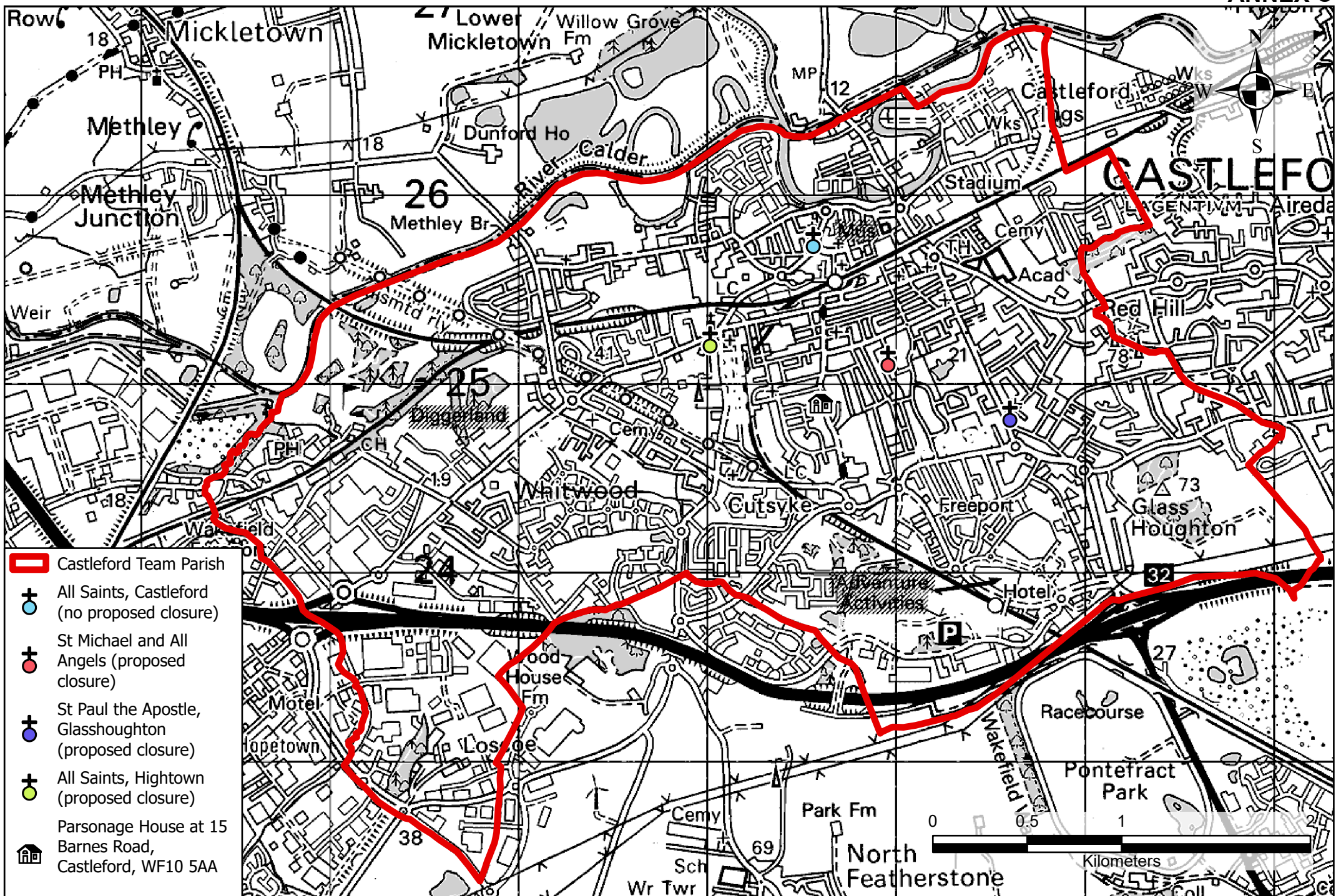
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- Castleford Team Parish
- + All Saints, Castleford (no proposed closure)
- + St Michael and All Angels (proposed closure)
- + St Paul the Apostle, Glasshoughton (proposed closure)
- + All Saints, Hightown (proposed closure)
- 🏠 Parsonage House at 15 Barnes Road, Castleford, WF10 5AA

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Committee\F80_Castleford



 THE CHURCH
OF ENGLAND

 CHURCH
COMMISSIONERS

By email only

The Rt Revd the Bishop of Leeds

Joanna Chandler-Clarke
Pastoral Case Officer

Our ref: 46/47

09 February 2024

Dear Bishop,

Mission and Pastoral Measure 2011
The Churches of Saint Paul, Glasshoughton; All Saints, Hightown; Saint Michael, Castleford
Proposed Pastoral Scheme

Following the publication of the three draft Pastoral Schemes providing for the closure for public worship of the churches of Saint Paul, Glasshoughton; All Saints, Hightown; and Saint Michael, Castleford, we received **10 representations against, seven representations in favour and four letters of comment** about the draft Schemes. I attach a copy of the correspondence received (Annex R).

The diocesan rational attached to the draft Schemes was as follows:

The four dwindling congregations in the Castleford Team Parish can no longer sustain four buildings. All of the church buildings in the parish require a considerable amount of repair work to bring into good repair. The PCC has therefore decided to seek closure of the three unlisted parish churches of Castleford Saint Michael and All Angels, Glasshoughton Saint Paul, and Hightown All Saints, unite as one congregation and focus all ministry and mission in the listed parish church of Castleford All Saints.

Summary of the Representations against

The representations against the draft Schemes are from local residents and parishioners. Some of the representors have relatives' ashes buried within the Gardens of Remembrance, which is a key concern for many of them.

Representations against the closure of St Paul, Glasshoughton

Three of the representations against the closure of St Paul Glasshoughton are from members of Brian Gallear's family. They are concerned about the possibility that his,

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 Website: www.ccpastoral.org

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and other, ashes could be removed from the Garden of Remembrance. Their expectation is that the ashes would never be disturbed, especially not while there are living relatives. One notes that there are more recent ashes burials and that the proposals will also be having an impact on other relatives. One says she has raised with the local MP her concern about the exemption of the Church of England from legislation which provides protection while there is living family in local cemeteries. These representors request that a decision/provision be made to safeguard the land in which the burials took place and would like it noting that it is unlikely that many of these ashes' burials can be relocated because of the length of time means recovery of the casket and ashes is extremely unlikely.

A neighbour of St Paul, Glasshoughton is against the closure because it is in a good state of repair – the best of the three churches being considered for closure – as well as being the biggest and furthest from the parish church. She says that the church is also used by local schools for various occasions and there have been quite a few recent funerals. She is also concerned that, if closure goes ahead, the church will be sold, knocked down and the built on because it is unlisted, meaning her father-in-law's ashes will be moved from the churchyard.

Another representor against the closure of St Paul, Glasshoughton, has family ties with the church, having held every family occasion there for years. She feels the Church should be expanding by holding events to encourage more families to the church, rather than closing its doors. She sees the church as an important part of the local Glasshoughton community which could help combat a rise in anti-social behaviour.

The relationship between St Paul's and local schools is raised by another local resident, who also has close family links to the church because her late parents were heavily involved. She also has relatives' ashes buried in the churchyard and thinks the possibility that moving people's headstones will cause much upset among families. She also says that residents have not had the opportunity to use the church much since COVID because it has barely been open.

The final representor specifically about St Paul, Glasshoughton, also highlights the close links with the schools and local community, as well as the life events which take place at the church, including weddings.

Representations against the closure of All Saints, Hightown

There are two representations against the closure of All Saints, Hightown. The first is from a parishioner who has close family links to the church through occasions such as baptisms, confirmations and weddings. Many family members are buried in the churchyard which he believes should be untouched forever. The church should remain open, he says, because it is still very much being used as a place of worship for a few people and it is admired as a local concert venue, including by the Castleford Male Voice Choir. In addition, it has been refurbished recently to a very high standard. If necessary, he thinks that the church should be repurposed for the community, rather than demolished.

The second representor against the closure of All Saints, Hightown is a parishioner and former churchwarden. Taking each of the four parish churches in turn, he argues that All Saints, Hightown, should be kept open as opposed to Castleford parish church. The major issues for the parish church (*also All Saints*) are the lack of parking and light, as well as having no church hall; its position in the town centre means alternative community uses, such as a museum, are more viable. St Paul, Glasshoughton also suffers from a lack of parking and a church hall. St Michael, Castleford is too large to keep warm and has poor sound quality, but it does have plenty of car parking and a church hall. All Saints, Hightown, is clean, inclusive, has a hall, plenty of parking and could be considered for listing. In addition, the area is one of the largest developed areas of the town, so the church should only be used for worship or as a community hub. His final concern about the closure of Hightown is in relation to the graves and he says any idea that they could be moved is outrageous.

Representation against the closure of St Michael and All Angels, Castleford

The final representation against the proposals specifically relates to the closure of St Michael and All Angels, Castleford. It comes from a member of the congregation with mobility issues who is concerned about being able to access the other churches safely and without spending money on expensive taxis. She also attends a local community group in the church hall and looks forward to the friendship it provides.

Summary of the Representations in favour

All the representors in favour are in favour of all three draft Schemes. One representor did not provide reasons but confirmed that she was in favour of all three church closures.

The incumbent of the benefice, in his personal capacity, is in favour of the proposals. The main reasons for his support are declining finances and congregations which mean that resources are used to keep going, rather than on mission to the community. The tight finances mean that quinquennial inspection recommendations cannot be carried out in full and parish share has not been paid in years. Closing the churches would enable the parish to hold more events in fewer buildings, thus maximising limited resources. He acknowledges that the closures will be painful but considers them inevitable, so the process offers a dignified and hopeful solution.

One PCC member makes individual representations in favour for each of the three churches. Each letter was similar, with a specific point to support closure of the respective church. His general points in favour of closure of all three churches are the falling numbers on the electoral roll and worshipping in the churches, an ageing congregation, declining income and increasing costs (including of repairs), lack of capital funds and pressure on volunteer and clergy time and resources. He says the current Rector has brought new younger people into the PCC and congregation and the Church is beginning to reconnect to the wider community in a variety of ways, but these require lots of volunteer time. Closing the churches will reduce the drain on these resources and free them up for more mission and evangelism activity. He urges that the closures should come with new investment in the parish church, otherwise they can be seen as negative and regressive. Comparing the Church to a

business, he has decided the proposals are positive and required to ensure a future Anglican presence in the town. Specifically, he supports the closure of All Saints, Hightown because of the high cost of repairing the church tower and roof. He says St Michael and All Angels has fewer than ten regular worshippers and significant investment is needed for a new heating system, and supports the closure of St Paul, Glasshoughton, because it has fewer than five weekly worshippers.

The final representor in favour of the closure of the three churches is a volunteer and worshipper in the parish. She thinks that the closure of the churches will enable them to concentrate on running one church and spend more time in the community and growing the Church. A lot of time and energy is wasted on caring for the buildings, but there is not enough money to care for them effectively, and they all need new lighting and heating and other facilities. She describes being mentally and physically exhausted from balancing all the volunteering activities she does for the Church, but she is hopeful for the future.

Representation in favour but with concerns

A former parishioner, who now resides in Tenerife, is in favour of the proposals but has some concerns, particularly in relation to the process after closure and the burials of ashes in the churchyards given her husband's ashes are in the grounds of St Paul, Glasshoughton. The closures will leave a vast area without church facilities from Methley to the town centre covering such areas as Whitwood, Cutyske, Hightown and Glasshoughton. She asks about provision for those who cannot drive and rely on public transport, and whether this will be taken into account when service times are arranged at All Saints, Castleford. She also asks what will happen to the equipment in the church halls, especially because at least one of the churches has a purpose-built hall for catered functions.

Summary of letters of comment

All the letters of comment refer to the future for the church buildings if they are closed. A local resident is concerned about the possibility of demolition and replacement of St Michael and All Angels, Castleford with housing. She would prefer for the church to be sold to a community group/charity group for use of the local residents. The other three all comment on the closure of St Paul, Glasshoughton. One is concerned about his grandfather's memorial stone, which he would like to retrieve if the site is closed. Two others with family ashes' burials would like to know what will happen to them if the church is sold.

If you wish for the draft Schemes to proceed, it will be necessary for our Mission, Pastoral and Church Property Committee to consider this matter and I should be grateful for your comments on the representations in general and on the following, more specific, points:

Diocesan Rationale

1. Please give the reasons why the PCC decided to seek closure of three of the four churches in the Castleford parish? Please provide attendance figures,

electoral roll numbers and parish share contributions for the last ten years.

2. Why was it agreed that Castleford All Saints should be the church to remain and be the focus for all ministry and mission going forward?
3. Did any diocesan or parish analysis of each of the parish churches take place to discern which it was most appropriate to close? If so, please provide more information.
4. Is there any intention to have any physical presence in any of the distinct areas of Castleford if the churches of Saint Michael and All Saints, Castleford; Saint Paul, Grasshoughton; and All Saints Hightown are closed? Is it intended to retain the church halls at St Michael and All Saints and All Saints, Hightown?

Process and consultation

5. Please set out the consultation process followed, indicating any meetings held with the interested parties. Please confirm the level of support, or otherwise, for what was being proposed during the local consultation process and how concerns raised during that stage were addressed.
6. Did the proposals stem from a deanery plan or diocesan policy or are they a local initiative?

Concerns about burials

7. What discussions have taken place locally with those who have family members buried in the churchyard?
8. Are you able to provide any assurances to those concerned that the burials and ashes of family members will remain in the churchyards following the closure of the churches?
9. If not, would you expect that they would be able to remove ashes and/or memorials?

All Saints, Castleford

10. How does attendance at All Saints, Castleford compare with the other churches in the parish? Has the COVID pandemic impacted worship numbers?
11. Given All Saints, Castleford does not have a hall and several of the churches proposed for closure do, what provision/capacity is there for increased use of All Saints, Castleford for community use?
12. What transport links are available to All Saints, Castleford from the other areas of Castleford and will service times be considered accordingly? Would assistance be provided to attend All Saints Castleford? Might some services

take place in the church halls?

13. Please comment on the view that All Saints, Castleford lacks parking and has poor light and whether this will hinder future ministry and mission?
14. Please would you provide a copy of the latest QIR for All Saints and comment on whether the works identified in that report have been commissioned or carried out?

St Michael and All Saints, Castleford

15. How does attendance at St Michael and All Angels compare with the other churches in the parish? Has the COVID pandemic impacted worship numbers?
16. If the church should close, what provision would you expect to make for any monuments and memorials within the building?
17. Have the works identified in the 2015 QIR been carried out? Has the QIR due in 2020 been commissioned or carried out?
18. How would the closure of St Michael and All Angels provide for the better cure of souls and further the Mission of the Church in this area?

St Paul, Glasshoughton

19. Please comment on the view that St Paul's church, out of the four churches in Castleford is in the best state of repair and as the biggest can accommodate the largest congregation.
20. Please comment on the view that St Paul's has barely been open since COVID. Has the covid pandemic impacted worship numbers? How does attendance at St Paul's compare with the other churches in the parish?
21. If the church should close, what provision would you expect to make for any monuments and memorials within and without the building and would you expect the churchyard and/or the small area of churchyard for cremated remains to be excluded from any future disposal of the church?
22. Have the works identified in the 2015 QIR been carried out? Has the QIR due in 2020 been commissioned or carried out?
23. How would the closure of St Paul, Glasshoughton provide for the better cure of souls and further the Mission of the Church in this area?

All Saints, Hightown

24. Please comment on the view that Hightown is one of the largest developed areas in Castleford and that its church should continue as a place of worship

or as a community hub?

25. How does attendance at All Saints, Hightown compare with the other churches in the parish? Has the COVID pandemic impacted worship numbers?
26. If the church should close, what provision would you expect to make for any monuments and memorials within and without the building?
27. Have the works identified in the 2016 QIR been carried out? Has the QIR due in 2021 been commissioned or carried out?
28. How would the closure of All Saints, Hightown provide for the better cure of souls and further the mission of the Church in this area?

Links with local schools

29. How much do local schools use the churches being considered for closure and how will the relationships be supported without the physical buildings?

General

30. Are there any other factors which the Commissioners should be aware of in their consideration of these representations?

In considering what information to include in your reply, I should be grateful if you would bear in mind that the Commissioners are required to consider the representations under the quasi-judicial process laid down by the 2011 Measure. A legal challenge may arise from the Commissioners' decision if, among other matters, it is based materially on incorrect information. In some cases, this might necessitate the withdrawal of the Scheme.

Of necessity, the Commissioners rely on others to provide information to assist their deliberations and to this end I should be grateful for your help.

The next scheduled meeting of the Mission, Pastoral and Church Property Committee at which this case could be considered is due to be held on **21 March 2024**. If the matter is to be considered at this meeting, we would need your response by **1.00pm on Friday 23rd February 2024**. This is to allow time for this letter and your reply to be sent to the representors, for them to make any further comments and, if necessary, for you to respond. It will also be considered by our Sifting Panel, to determine whether the representors and diocesan representatives should be offered an opportunity to make oral representations to the Committee.

I am sending a copy of this email to Deborah Thorley, Mission and Pastoral Secretary, and the Archdeacon of Pontefract's PA for information.

Yours sincerely

Chandler-Clarke

Joanna Chandler-Clarke
Pastoral Case Officer



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Joanna Chandler-Clarke
Pastoral Case Officer
Church Commissioners,
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Great Smith Street
London SW1P 3AZ

27 February 2024

Dear Joanna

Thank you for your letter in connection with the draft Scheme affecting the above benefice and for enclosing the representations received against the draft Scheme.

I will respond to your specific questions first before making some general comments under question 30 below.

Diocesan Rationale

- 1. Please give the reasons why the PCC decided to seek closure of three of the four churches in the Castleford parish? Please provide attendance figures, electoral roll numbers and parish share contributions for the last ten years.**

The PCC have recognised for a number of years that the current position of four church buildings in the parish of Castleford was not sustainable. Maintaining the four buildings, plus three halls, was a drain on the resources of the parish in terms of money and peoples' energy, and it was felt that channelling these resources in a more sustainable manner was needed. To this end, a working group was established in December 2016 to discuss the ongoing mission needs of the parish and to review the buildings (for more details see Q3). The PCC received a report from this group in June 2017 and considered the options. In June 2019 the PCC passed a resolution to seek the closure of Hightown All Saints as this was the church that was in the worst state of repair and is very close, within 0.5 miles, to All Saints Parish church. In October 2019 it was announced that the current Team Rector had resigned his post. The PCC further considered the vision of the parish and how they could attract a new Team Rector. This resulted in the PCC passing a second resolution in February 2020 to seek the closure of three of the four churches following recommendations from this visioning group that closing churches one by one would not be an attractive offer to an incoming Team Rector.

The data in the table below shows the Electoral Roll figures, the Share contribution and the worshipping community and usual Sunday attendance figure for each of the four churches since 2016. This data is taken from the Parish Returns data.



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Year	Electoral Roll	Share paid (£)	All Saints Parish		Hightown All Saints		St Paul Glasshoughton		St Michael and All Angels	
			Worshiping Community	Usual Sunday attendance	Worshiping Community	Usual Sunday attendance	Worshiping Community	Usual Sunday attendance	Worshiping Community	Usual Sunday attendance
2023	88	8000	30	28	11	0	5	0	34	12
2022	80	12500	30	27	11	0	7	0	16	13
2021	76	3900	73		15		6		17	
2020	77	6000	27		14		1		24	
2019	75	21500		32		14		11		20
2018	143	36000	51	31	21	19	13	12	29	30
2017	147	39207	51	35	27	21	16	15	28	28
2016	144	37350		35	31	23	19	16	27	22

Notes:-

- 1/ The data on the parish returns system only goes back to 2016.
- 2/ A new Electoral Roll was prepared in 2019.
- 3/ Castleford parish has Share arrears of £425,487.
- 4/ The worshiping community for All Saints Parish in 2021 includes 45 people who watched from home during the pandemic.
- 5/ Blanks are where no data was returned.



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2. Why was it agreed that Castleford All Saints should be the church to remain and be the focus for all ministry and mission going forward?

All Saints is considered to be the parish church of Castleford and the site has been used as a place of worship since at least 1160.

The church is close to the town centre and transport hubs so is well-placed to reach out to the population via missional activities.

Castleford All Saints is also the only listed building out of the four churches. This means that grant funding for the redevelopment of the building to suit the needs of the 21st century is more easily accessed. The north aisle of the medieval church was repaired and the church re-pewed in 1852. The rest of the church was rebuilt in 1866-67 by the architect HF Bacon. The Church Buildings Council Report noted that this was a well-detailed Victorian church with a positive streetscape presence.

3. Did any diocesan or parish analysis of each of the parish churches take place to discern which it was most appropriate to close? If so, please provide more information.

In December 2016 a working group consisting of representatives of the four churches, the Area Dean, the Deanery Lay Chair, the Archdeacon and the diocesan Buildings for Mission Officer was established. Their remit was to discuss ongoing mission in the parish and review the buildings. In February 2017 they commissioned a 'Living Stones' audit and report. The Living Stones project was an initiative established to look at the best use of buildings for mission. It consisted of two parts; a congregation audit via a questionnaire and a review of current building use and finances. A final report reviewed the audit and current use along with recommendations about how buildings could be best used for mission moving forward.

The Living Stones congregational questionnaire was completed by 57 people. Of these, the average number of years that they had been attending church was 38 years, with 78% having attended their church in Castleford for over 25 years. 60% of the respondents were over 70 and there were no respondents under the age of 30. The majority of respondents were happy with their church. In the next 5 to 10 years they did want the church to grow, but most were not able to say how this would happen. Some mentioned outreach, such as coffee mornings and uniformed groups, but were not sure how this would translate into church growth.

The buildings review highlighted that approx. £200K worth of repairs were needed across the four church buildings. The three church halls were in reasonable repair, although work would be needed on one of the walls at Castleford All Saints Parish Church hall.

The review of current activities showed that Sunday services were held in each church each Sunday, but often with small numbers in the congregation. The hall at All Saints was used by a



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dance school each day; the hall at Hightown was only used once or twice a week; and the hall at St Michael's was used most days for a parent and toddler group and also by Brownies and Rainbows once per week. Overall, the halls were underutilized.

The final report, which was presented to the PCC in June 2017, outlined possible options for the future of each church. The main conclusion was that the parish church of All Saints Castleford would need to be retained although work would be needed to make the necessary repairs. For the other churches, consideration was needed as to whether each church was needed pastorally, whether there should be a movement towards closure of some of the churches, or whether all or some of the churches should be repaired and redeveloped.

4. Is there any intention to have any physical presence in any of the distinct areas of Castleford if the churches of Saint Michael and All Angels, Castleford; Saint Paul, Glasshoughton; and All Saints Hightown are closed? Is it intended to retain the church halls at St Michael and All Angels and All Saints, Hightown?

It is the intention to retain the hall at St Michael and All Angels, but not that at All Saints Hightown, whilst the proposed redevelopment of the church and hall at Castleford All Saints takes place. The hall at St Michael and All Angels is a standalone hall so any changes to the church would not affect access or use of the hall. There is no intention to retain a presence in the other areas if the churches are to close as the main focus of missional activities will be at Castleford All Saints and its hall which are easily reached from all areas of Castleford.

Process and consultation

5. Please set out the consultation process followed, indicating any meetings held with the interested parties. Please confirm the level of support, or otherwise, for what was being proposed during the local consultation process and how concerns raised during that stage were addressed.

The PCC first petitioned for the closure of Hightown All Saints in June 2019. The Wakefield AMPC meeting later in June 2019 agreed to consult the interested parties on this closure. Whilst the draft proposals were being prepared, the Team Rector made the Area Bishop and Archdeacon aware that he was going to resign. The Archdeacon met with the PCC and asked that they think again about their vision for the parish given the Team Rector vacancy, to make this post as attractive as possible. The PCC passed a second resolution in February 2020 requesting the closure of three of the four churches in the parish. The church of All Saints, Castleford was to be retained and redeveloped and a new worship centre to be built on the site of St Michael and All Angels. The PCC vote was 13 in favour and 1 against. The Wakefield AMPC agreed in June 2020 to consult the interested parties on these revised proposals. Discussions had also taken place with a possible developer who was interested in the church sites and in building the new worship centre.



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Due to the pandemic, these draft proposals were not circulated to the interested parties until 12 August 2021. All the interested parties responded in support of these draft proposals. The PCC confirmed their decision with no objections. The Wakefield AMPC reviewed all the interested parties' responses at their meeting in October 2021 and recommended the proposals to the Bishop of Leeds. At this time, the PCC realised that there would not be sufficient funds to both redevelop All Saints and build a new worship centre. Therefore, they passed a third resolution asking that the proposals be for the redevelopment of All Saints only. This resolution was passed with 13 in favour and 1 abstention. The Wakefield AMPC agreed to recommend these revised proposals at their meeting in February 2022 and it was this proposal that was sent to the Bishop of Leeds for his consideration on 30 March 2022. The signed Bishop's proposals were sent to the Church Commissioners on 5 April 2022.

The draft schemes were published on 9 August 2023. A public drop-in was arranged on 17 August 2023 at All Saints, Castleford for any member of the public to come and discuss the draft schemes. About 20 people came to this session where diocesan officers were available to answer any queries.

6. Did the proposals stem from a deanery plan or diocesan policy or are they a local initiative?

The proposals were a local initiative.

Concerns about burials

7. What discussions have taken place locally with those who have family members buried in the churchyard?

All those who could be identified who have the cremated remains of family members buried in the churchyards at the three churches proposed for closure were sent a copy of the draft scheme for that church and a covering letter on 9 August 2023. In total, 74 letters were sent; 45 for St Paul Glasshoughton, 26 for All Saints, Hightown and 3 for St Michael and All Angels. This letter stated '*At this stage, the proposal is just to seek closure of the churches. If the churches do close a further process will take place seeking a new use for the buildings. Once a new use has been found, a second public consultation will take place. Therefore, at this time, there are no plans to move the cremated remains of your relatives.*' An invitation to the drop-in session on 17 August 2023 at All Saints, Castleford was included in the letter.

Several family members did attend the drop-in session. They were again advised that this consultation was only concerned with the closure of the churches. It was explained that no decision had yet been reached about the future of the buildings and that, when a future was decided, they would be sent copies of the draft scheme consultation for this new use and invited to comment on this proposal for a new use.



Some representations against the draft schemes were received from concerned family members about the ashes. These representors were invited to a meeting on 15 January 2024 to discuss these concerns. It was again stressed that, at the moment, no remains would be moved as the consultation was only on the closure of the buildings.

8. Are you able to provide any assurances to those concerned that the burials and ashes of family members will remain in the churchyards following the closure of the churches?

The family members can be assured that until a new use is found for the closed churches, no cremated remains will be removed from the churchyards (there are no burials in any of the churchyards).

The best outcome for a closed church building is that it is reused; as a place of worship for another Christian group, as a community resource, or converted into housing with no changes made to the surrounding churchyard. If a new use for the extant buildings can be found, the areas containing the cremated remains will remain in parish ownership and no remains will be removed. These areas will be kept separate from the buildings, and owners will be legally obliged to allow relatives to access them. This would all be explained in the notes accompanying any draft church buildings disposal scheme which would be circulated to the family members.

9. If not, would you expect that they would be able to remove ashes and/or memorials?

If a new use cannot be found for the extant buildings during the use-seeking period, then the Leeds DBF would consider asking the Church Commissioners to publish a draft scheme to allow for the demolition of the buildings. If this was the case, the family members would be consulted about the removal of ashes. The options that would be proposed for the ashes would be:-

1. Removal and re-interment at All Saints church in a specifically allocated plot with a suitable memorial stone. A dedicated memorial book to record all the re-interred ashes to also be prepared for display at All Saints.
2. To allow the family members to re-inter the ashes at a place of their choice

Any memorial plaques would be offered to the family members who may wish for them to be buried alongside the ashes at All Saints.



All Saints, Castleford

10. **How does attendance at All Saints, Castleford compare with the other churches in the parish? Has the COVID pandemic impacted worship numbers?**

As can be seen from the data in Q1, the usual Sunday attendance in 2023 at All Saints, Castleford was 28, as compared with 12 at St Michael and All Angels. There is no regular Sunday service at All Saints, Hightown, or at St Paul, Glasshoughton. There is a Tuesday morning service at All Saints, Hightown, and a Wednesday morning service at St Paul, Glasshoughton. The usual attendance at these services is 9 at All Saints, Hightown (with 3 of those regularly attending Sunday services at All Saints, Castleford); and 5 at St Paul, Glasshoughton (with one of those individuals regularly attending Sunday services at St Michael and All Angels).

In the pre-COVID period, 2016 to 2019, there was a small reduction in the numbers regularly attending Sunday services at All Saints, Castleford. Since the pandemic, these numbers have fallen again but only slightly.

11. **Given All Saints, Castleford does not have a hall and several of the churches proposed for closure do, what provision/capacity is there for increased use of All Saints, Castleford for community use?**

There is a hall at All Saints, Castleford. In fact, it is the largest, most well-built, and most versatile of the halls that are in the parish. The hall has three floors and is adjacent to the church. However, it has been mothballed for the last four years due to a lack of funds to maintain it. One of the first things to be addressed if the parish's burden of maintenance costs is eased by the closure of the churches and funds are therefore made available, is to upgrade the hall for community and church use. This will provide a central hub for all future mission and outreach in Castleford.

The Team Rector has already been in discussions with the local planning department as to how the redevelopment of the hall and church at All Saints can tie into the redevelopment of Castleford Town Centre. Contacts in the local council have indicated that they would be interested in using the refurbished hall as a centre of learning. Many of the groups who previously used the hall, who have been using the hall at St Michael and All Angels since the space has been closed, have indicated that they would return to the All Saints hall as it will offer better facilities.

As well as refurbishing the hall, the parish have already started discussions with the DAC about enhancing the facilities in the church (e.g. toilets and kitchen facilities) in order to make the church itself more usable by community groups. This would mean that there would be two buildings on the same site that would be available for a variety of different community group needs.



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12. What transport links are available to All Saints, Castleford from the other areas of Castleford and will service times be considered accordingly? Would assistance be provided to attend All Saints Castleford? Might some services take place in the church halls?

The bus station in the centre of Castleford is less than a five-minute walk from All Saints. Buses from Hightown, Glasshoughton and Smawthorne all go to the bus station. Also, as other members of the congregation travel to the church by car, lift shares can be arranged for those without transport. Any member of the congregation who needs help with attending services at All Saints should discuss this with the Team Rector. Sharing cars and using public transport to attend services will reduce unnecessary travel, in line with the diocesan zero carbon policy.

If there are only Sunday services to be held at All Saints, a review of the service times would take place following a discussion with the congregation. Additional services can be provided to suit varying needs, including travel times. To begin with, all services will be held at All Saints, to encourage members to become a unified congregation. If in the future it would be beneficial to hold services at the hall at St Michael and All Angels, the PCC would consider this.

13. Please comment on the view that All Saints, Castleford lacks parking and has poor light and whether this will hinder future ministry and mission?

As with many churches, parking can be perceived as an issue. However, there is parking for about 15 cars in the churchyard at All Saints, which is spacious enough for the current congregation with some room to spare. There is also parking available in the neighbouring streets. The local builders and vets opposite the church allow parking in their car parks on Sundays and evenings, and there is a large pay-and-display car park opposite the church. Currently, most of the occasional offices are held at All Saints, including those where the congregation is over 200, and these have been held without parking difficulties.

Improvement of the lighting is to be proposed as a key part of the redevelopment scheme.

14. Please would you provide a copy of the latest QIR for All Saints and comment on whether the works identified in that report have been commissioned or carried out?

A new QIR from the same firm as previously used, though with a new inspecting architect, has just been commissioned but is not yet available. The previous QIR was carried out in September and October 2017 and a copy has been sent to the Church Commissioners. The 2017 report stated that the church was in generally good repair but that works were needed to the rainwater goods and



some repointing would be required in the near future. A 10-year plan to replace the roof and complete re-pointing would be needed.

Only minor maintenance and insurance works have been carried out since the 2017 inspection as there has been a lack of funds to carry out any major works.

St Michael and All Angels, Castleford

15. How does attendance at St Michael and All Angels compare with the other churches in the parish? Has the COVID pandemic impacted worship numbers?

As can be seen from the data in Q1, the usual Sunday attendance in 2023 at St Michael and All Angels was 12, as compared with 28 at All Saints, Castleford. The Worshiping Community figure for St Michaels and All Angels, 34, includes the Polish community congregation who worship at the church once a month. The Sunday attendance figure is the average attendance on the other Sundays. There is no regular Sunday service at All Saints, Hightown, or at St Paul, Glasshoughton. There is a Tuesday morning service at All Saints, Hightown, and a Wednesday morning service at St Paul, Glasshoughton. The usual attendance at these services is 9 at All Saints, Hightown (with 3 of those regularly attending Sunday services at All Saints, Castleford); and 5 at St Paul, Glasshoughton (with one of those individuals regularly attending Sunday services at St Michael and All Angels).

Since the pandemic, the numbers have fallen slightly.

16. If the church should close, what provision would you expect to make for any monuments and memorials within the building?

When a church closes for regular public worship, fixed contents, including monuments and memorials, will remain in the building during the use-seeking period. When a new use is found, the Bishop's Directions will direct as to what should happen to these monuments and memorials. If the new use is such that there will be public access to the building, the majority of the monuments and memorials will remain in the building. If there would be no continued public access to the building, then the monuments and memorials would be removed to another venue, probably the church of All Saints. If, however, any family member would like to receive a monument or memorial that relates directly to their family, this can be arranged and recorded in the Bishop's Directions. During the use-seeking period, the family can record their interest in a monument or memorial and this can be dealt with when the new use is secured.



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17. Have the works identified in the 2015 QIR been carried out? Has the QIR due in 2020 been commissioned or carried out?

Only minor maintenance and insurance works have been carried out since the 2015 inspection as there has been a lack of funds to carry out any major works.

The Leeds DBF commissioned a QIR in July 2023. This report stated that the church was in a generally acceptable condition with minor works needed to both the interior and exterior. The main areas of concern were the use of non-breathable finishes that would need removing, in particular at low and high wall levels; that the windows were showing signs of decay; and that the boiler house flat roof was of concern. Works that were identified as being either urgent or required within the next 12 months totalled approx. £17K. The total cost of works recommended over the next 5 years was approx. £300K.

18. How would the closure of St Michael and All Angels provide for the better cure of souls and further the Mission of the Church in this area?

At the current time, the PCC are having to maintain four large church buildings with a regular weekly worshipping community of just 50 people spread across these four churches. There is a limited number of people in the congregations who are willing to take on parish responsibilities and develop any missional and outreach activities. The average age of the worshipping community is also increasing, and if new people are not brought into the church, eventually there will not be enough people to sustain an Anglican presence in Castleford.

The parish finances are also being increasingly stretched, with the result that for some time only the minimum amount of maintenance has been carried out on the buildings. If this continues deterioration of the buildings will only accelerate and essential repairs will move even further beyond financial reach, which could ultimately lead to a situation where the buildings become unsafe. On average, over the last four years, it has cost the parish £53K per year to keep the four churches open. For a number of years, the parish has not been able to pay the Share requested from the diocese.



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Closing the three churches, including St Michael and All Angels, is a painful choice but, hopefully, the longer-term outcome will be a revitalisation of the parish. Having all the congregation under one roof will give more meaning to collective worship. It will be easier to attract and retain new worshippers if there is a vibrant congregation, as opposed to a small number spread around a large church. Members of the congregation who already support the missional and outreach work of the parish will no longer have to spend so much of their time and energy on maintaining the buildings or worrying about the finances of just keeping all of the buildings open. Instead, they will be able to go out into the community, expand on the missional work that has started to bear fruit, and bring new people into the church.

Alongside the proposed closure of the three churches is the proposal to redevelop the church and hall at All Saints Parish Church as a missional and ministry hub. Removing the burden of sustaining the three churches and one hall that are proposed for closure will free up both financial and human resources to bring this aspirational plan to fruition.

St Paul, Glasshoughton

19. **Please comment on the view that St Paul's church, out of the four churches in Castleford is in the best state of repair and as the biggest can accommodate the largest congregation.**

Though the arrangement of pews and space in the chancel create the impression of space at St Paul's, it does not in fact actually have the largest capacity of the churches in Castleford. The parish church of All Saints has the largest capacity. The parish church can seat 295 people whereas St Paul's can only seat 220.

The information provided by the recent QIRs (see Q22 for details on St Paul's) show that St Paul's is not the church in the best state of repair. It is in a better state than Hightown, but the repairs identified as necessary at St Paul's within the next 12 months are estimated at £69k and those within the next 5 years are estimated at £500k. In comparison, at St Michael and All Angels, the figures are £17k and £300k respectively. The current figures for All Saints are not yet known but, as stated above (Q14), the building was identified as generally in good repair when it was last inspected, with some identified repair needs for rainwater goods, pointing and roof but nothing of significant urgency has been recently highlighted.

20. **Please comment on the view that St Paul's has barely been open since COVID. Has the**



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covid pandemic impacted worship numbers? How does attendance at St Paul's compare with the other churches in the parish?

St Paul's opens for mass once a week with 6 people (including the Priest) attending. Of the 5 parishioners, 1 goes to St Michael's every week on a Sunday, 2 come to other churches occasionally for special services, and the remaining 2 attend only St Paul's. The church also opens for baptisms, funerals, wedding vow renewals, and school work.

Before COVID, there was a Sunday service at St Paul's but attendance had dropped to 11. When the churches reopened after COVID, the decision was made to offer a weekday service at St Paul's rather than a Sunday service. As such, the day on which the building regularly opens for worship has changed but the frequency has not.

As can be seen from the data in Q1, the usual Sunday attendance in 2023 at St Michael and All Angels was 12, as compared with 28 at All Saints, Castleford. There is no regular Sunday service at All Saints, Hightown, or at St Paul, Glasshoughton. There is a Tuesday morning service at All Saints, Hightown, and a Wednesday morning service at St Paul, Glasshoughton, as noted above. The usual attendance at the service at All Saints, Hightown, is 9 (with 3 of those regularly attending Sunday services at All Saints, Castleford).

21. **If the church should close, what provision would you expect to make for any monuments and memorials within and without the building and would you expect the churchyard and/or the small area of churchyard for cremated remains to be excluded from any future disposal of the church?**

When a church closes for regular public worship, fixed contents, including monuments and memorials, will remain in the building during the use-seeking period. When a new use is found, the Bishop's Directions will direct as to what should happen to these monuments and memorials. If the new use is such that there will be public access to the building, the majority of the monuments and memorials will remain in the building. If there would be no continued public access to the building, then the monuments and memorials would be removed to another venue, probably the church of All Saints. If, however, any family member would like to receive a monument or memorial that relates directly to their family, this can be arranged and recorded in the Bishop's Directions. During the use-seeking period, the family can record their interest in a monument or memorial and this can be dealt with when the new use is secured.

The part of the churchyard used for the burial of cremated remains is a distinct area, which is at a distance from the building. This area would be excluded from any future disposal of the church building if the building was to remain extant.



22. Have the works identified in the 2015 QIR been carried out? Has the QIR due in 2020 been commissioned or carried out?

Only minor maintenance and insurance works have been carried out since the 2015 inspection as there has been a lack of funds to carry out any major works.

The Leeds DBF commissioned a QIR in July 2023. This report stated that the building was in a generally acceptable condition. Areas of concern were the windows, which are all in poor condition; the rainwater goods; and the use of non-breathable paints and cementitious mortar on internal surfaces. The architect was also concerned about the roof voids and the timbers at roof level as these had not been inspected during the QIR due to access issues. Works that were identified as being either urgent or required within the next 12 months totalled approx. £69K. The total cost of works recommended over the next 5 years was approx. £550K.

23. How would the closure of St Paul, Glasshoughton provide for the better cure of souls and further the Mission of the Church in this area?

At the current time, the PCC are having to maintain four large church buildings with a regular weekly worshipping community of just 50 people spread across these four churches. There is a limited number of people in the congregations who are willing to take on parish responsibilities and develop any missional and outreach activities. The average age of the worshipping community is also increasing, and if new people are not brought into the church, eventually there will not be enough people to sustain an Anglican presence in Castleford.

The parish finances are also being increasingly stretched, with the result that for some time only the minimum amount of maintenance has been carried out on the buildings. If this continues, deterioration of the buildings will only accelerate and essential repairs will move even further beyond financial reach, which could ultimately lead to a situation where the buildings become unsafe. On average, over the last four years, it has cost the parish £53K per year to keep the four churches open. For a number of years, the parish has not been able to pay the Share requested from the diocese.

Closing the three churches, including St Paul's, is a painful choice but, hopefully, the longer-term outcome will be a revitalisation of the parish. Having all the congregation under one roof will give more meaning to collective worship. It will be easier to attract and retain new worshippers if there is a vibrant congregation, as opposed to a small number spread around a large church. Members of the congregation who already support the missional and outreach work of the parish will no longer have to spend so much of their time and energy on maintaining the buildings or worrying about the finances of just keeping all of the buildings open. Instead, they will be able to go out into the community, expand on the missional work that has started to bear fruit, and bring new people into the church.



Alongside the proposed closure of the three churches is the proposal to redevelop the church and hall at All Saints Parish Church as a missional and ministry hub. Removing the burden of sustaining the three churches and one hall that are proposed for closure will free up both financial and human resources to bring this aspirational plan to fruition.

All Saints, Hightown

24. **Please comment on the view that Hightown is one of the largest developed areas in Castleford and that its church should continue as a place of worship or as a community hub?**

Castleford as a town is relatively small and compact. All four of the churches in the parish are within one square mile. There is new development in the area which could be considered to be closest to the Hightown church, however, given the small size of Castleford, this is still close to All Saints Parish Church.

The aim of the parish is to develop the church and hall at All Saints Parish church as a hub for mission and ministry to the whole town of Castleford. The PCC have chosen this location as being central to the town. By comparison, the church at Hightown is further away from the main shopping area and transport hubs, separated from these by a railway level crossing.

25. **How does attendance at All Saints, Hightown compare with the other churches in the parish? Has the COVID pandemic impacted worship numbers?**

There is a Tuesday morning service at All Saints, Hightown. The usual attendance at these services is 9 (with 3 of those regularly attending Sunday services at All Saints Parish church).

Before COVID there was a Sunday service at All Saints, Hightown, at which attendance had dropped to 14. When the churches reopened after COVID, the decision was made to offer a weekday service at Hightown, rather than a Sunday service.

As can be seen from the data in Q1, the usual Sunday attendance in 2023 at All Saints, Castleford was 28, as compared with 12 at St Michael and All Angels. There is no regular Sunday service at St Paul, Glasshoughton, though there is a Wednesday morning service



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Diocese of Leeds

with 5 attendees (with one of those individuals regularly attending Sunday services at St Michael and All Angels).

26. If the church should close, what provision would you expect to make for any monuments and memorials within and without the building?

When a church closes for regular public worship, fixed contents, including monuments and memorials, will remain in the building during the use-seeking period. When a new use is found, the Bishop's Directions will direct as to what should happen to these monuments and memorials. If the new use is such that there will be public access to the building, the majority of the monuments and memorials will remain in the building. If there would be no continued public access to the building, then the monuments and memorials would be removed to another venue, probably the church of All Saints. If, however, any family member would like to receive a monument or memorial that relates directly to their family, this can be arranged and recorded in the Bishop's Directions. During the use-seeking period, the family can record their interest in a monument or memorial and this can be dealt with when the new use is secured.

27. Have the works identified in the 2016 QIR been carried out? Has the QIR due in 2021 been commissioned or carried out?

Only minor maintenance and insurance works have been carried out since the 2016 inspection as there has been a lack of funds to carry out any major works.

The Leeds DBF commissioned a QIR in July 2023. This stated that the church was in a poor condition. The cementitious mortars and renders used externally and the cementitious internal plaster are trapping moisture in the church and causing problems. Due to this, there had been a significant deterioration in the condition of the church since the report in 2016. The other major concern noted was the tower parapet. This needs a complete rebuild. The report also identified that the condition of the windows was poor and that there were areas of failed ridge and verge pointing.

Works that were identified as being either urgent or required within the next 12 months totalled approx. £258K. The total cost of works recommended over the next 5 years was approx. £1.2 million.



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28. How would the closure of All Saints, Hightown provide for the better cure of souls and further the mission of the Church in this area?

At the current time, the PCC are having to maintain four large church buildings with a regular weekly worshipping community of just 50 people spread across these four churches. There is a limited number of people in the congregations who are willing to take on parish responsibilities and develop any missional and outreach activities. The average age of the worshipping community is also increasing, and if new people are not brought into the church, eventually there will not be enough people to sustain an Anglican presence in Castleford.

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Closing the three churches, including All Saints, Hightown, is a painful choice but, hopefully, the longer-term outcome will be a revitalisation of the parish. Having all the congregation under one roof will give more meaning to collective worship. It will be easier to attract and retain new worshippers if there is a vibrant congregation, as opposed to a small number spread around a large church. Members of the congregation who already support the missional and outreach work of the parish will no longer have to spend so much of their time and energy on maintaining the buildings or worrying about the finances of just keeping all of the buildings open. Instead, they will be able to go out into the community, expand on the missional work that has started to bear fruit, and bring new people into the church.

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Links with local schools

29. **How much do local schools use the churches being considered for closure and how will the relationships be supported without the physical buildings?**

Currently one school uses St Michael and All Angels for its Christmas Nativity, but there is concern that it is bitterly cold as there is no heating. They also want to start visits to look around the church, as illustrative of faith and heritage. Both these activities can be accommodated at All Saints Parish Church and the school are aware of this.

St Paul's church is used by one school for an Easter service, a leavers' service, a harvest service, and a Christingle service, as well as other occasional visits. They are also aware that All Saints Parish Church can accommodate them in the future.

General

30. **Are there any other factors which the Commissioners should be aware of in their consideration of these representations?**

The diocese does not want to lose an Anglican presence in the town of Castleford and is prepared to invest in, and support the work of, the parish to grow the church in the town. The Diocese are supporting the parish through the Barnabas: Encouraging Confidence project. This includes training for clergy and support for children and young people's work. Therefore, maintaining the status quo of four large church buildings within a square mile, all of which require significant expenditure to meet the standards required in the 21st century, is not sustainable. The PCC have bravely voted to close three of the churches and focus their time, energy, and finances on developing the Parish Church of All Saints and its neighbouring hall as a missional and ministry hub. The Leeds DBF have agreed to give their portion of any profits from the sale of the three churches proposed for closure to the parish, to help them develop this hub. This is on the understanding that in future years, the PCC will work towards full payment of their requested Share to support their ministry costs but also the costs of mission and ministry across the wider diocese.

Yours sincerely



The Rt Revd Nicholas Baines
Bishop of Leeds

Church Buildings Report PM 2437

ChurchCare

Glasshoughton, St Paul (646251)



16,000 buildings. One resource
Church Buildings Council

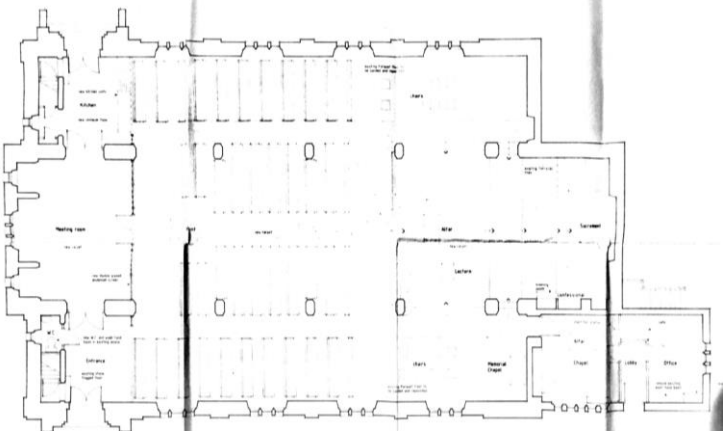
PART 1 : Summary



North elevation from north.

Parish: Castleford Team Parish	Dedication: St Paul the Apostle	Diocese: Leeds	County: Yorkshire
Benefice: Castleford Team Parish	Archdeaconry: Pontefract	Local Authority: Wakefield Metropolitan District Council	
Address: Pontefract Road, Glasshoughton, West Yorkshire, WF10 4BL		NGR: SE436248	
Listing: Unlisted	Other designations (CA, SAM, SSSI, SINC, TPO etc.): None		
Local population: 25,298	Indices of Multiple Deprivation Rank: 1,479 out of 12,660 (where 1 is the most deprived parish) – CUF		

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Key message from the Church Buildings Council	The church contributes positively to the streetscape, but is otherwise of little historical or aesthetic significance. The possibility of a community use could be explored.
Ground plan, form and constituent parts 	Nave, north and south aisles, north east chapel, chancel and sanctuary, south east chapel, lady chapel, clergy vestry and entrance lobby, narthex, north porch (kitchen), south porch, organ loft stairs, north and south, organ loft.
Other buildings or pieces of land	None
Dimensions	None taken
Building materials	<p><i>Exterior:</i> Walls: red brick; roofs: The nave roof is steep double pitched covered in Westmorland slate. The north and south aisle are of a shallower pitch, the north covered in lead and the south covered in replacement metal sheet roof following the theft of the original lead. The vestry and Lady Chapel roof is double pitched and is now covered in mineral felt; details: limestone mullions, tracery and cills to the openings.</p> <p><i>Interior:</i> Ceiling: Nave barrel boarded with tie beams and brackets springing from stone corbels with single tie beams, all dark stained, extending over the organ loft, sanctuary and chancel; aisles and chapels stained boarded; lady chapel plastered and painted; walls: Stone columns in 3 arcades extending to a fourth into the chancel with plastered, painted spandrels; floors: carpet over solid substrate to the aisle, hardwood block flooring to the pew areas.</p>
State of repair based on latest Quinquennial Inspection Report	<p>Report by: Graham Saxton, PPIY Architects + Date: 20 August 2015 Summary:</p> <p>‘The condition of the building is generally good, however a programme of repointing works is required as there are a number of areas of open jointing throughout the external walls. These should be attended to in the times indicated to stop water penetrating the fabric. The chimney is of some concern and a structural engineer should be asked to inspect this. Particular attention is drawn to the Vestry Chancel abutment gutter and the Vestry North gutter which should be addressed urgently as water is penetrating the fabric here and causing damage internally’.</p>
Heritage at Risk Register	Not on national Heritage at Risk Register.

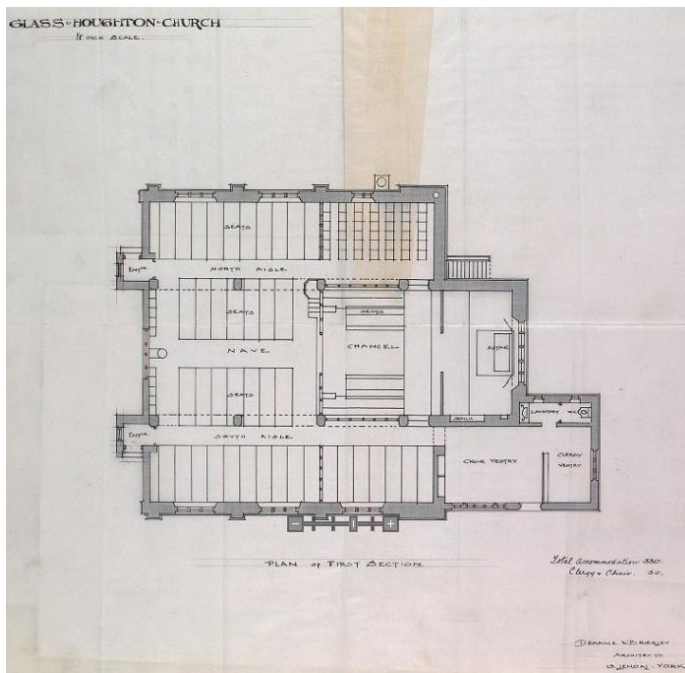


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Any additional structural reports	Asbestos survey (appended to QI report).
Additional site visit notes	The building appears to be in good, sound condition.
Energy use / services / WCs / access	Electricity, water, mains drainage, heating, gas boiler and radiators, kitchen, toilet.
Evidence of burials within church	Plaque indicating interment of two sets of ashes. It is unknown whether these ashes are inside the church.



Brief summary of history: The church dates from 1902. An extension to the west end was consecrated in 1933. The plan of the 1902 church is as follows:

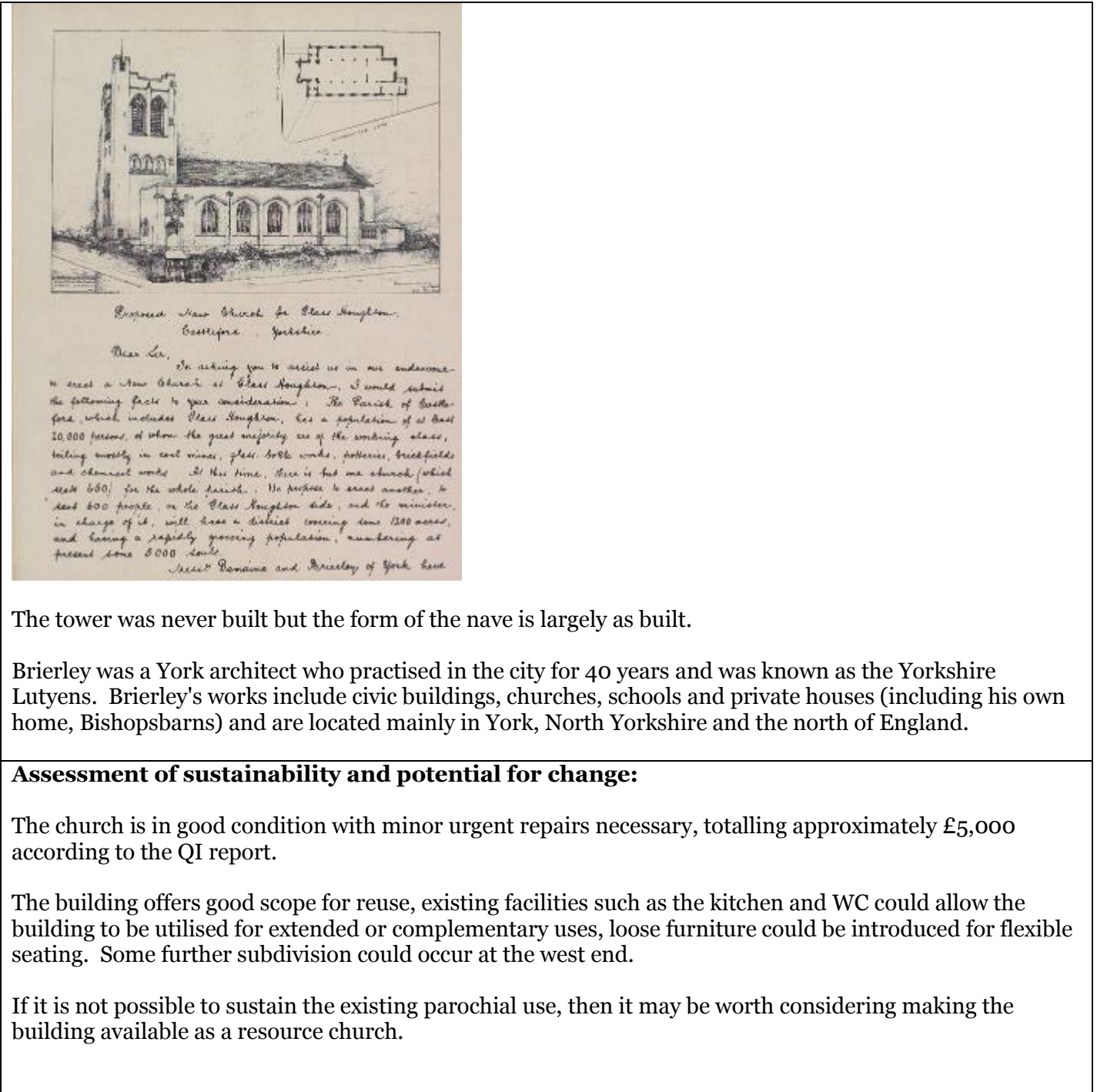


Assessment of significance:

A simple neo gothic style 20th century building of no great significance in its fabric or contents. The church contributes positively to the streetscape.

The building was designed by known architects, Demaine and Brierley, but was not constructed in accordance with their original vision as illustrated below:





The tower was never built but the form of the nave is largely as built.

Brierley was a York architect who practised in the city for 40 years and was known as the Yorkshire Lutyens. Brierley's works include civic buildings, churches, schools and private houses (including his own home, Bishopsbarns) and are located mainly in York, North Yorkshire and the north of England.

Assessment of sustainability and potential for change:

The church is in good condition with minor urgent repairs necessary, totalling approximately £5,000 according to the QI report.

The building offers good scope for reuse, existing facilities such as the kitchen and WC could allow the building to be utilised for extended or complementary uses, loose furniture could be introduced for flexible seating. Some further subdivision could occur at the west end.

If it is not possible to sustain the existing parochial use, then it may be worth considering making the building available as a resource church.



PART 2 : Detailed assessment and significance

L, M & H refer to Low, Moderate & High significance

GENERAL DESCRIPTION



Brick hall church with buttressing and pointed windows with limestone mullions, tracery and cills to the openings. Two storey north and south porch at the western end of the nave with 4 centred arch doorways, 4 steps to door with plain hand rails either side. Tall stepped stone capped brick buttresses flank the doorways and stairs. Brick stringcourse with dentil detailing. West end elevation has three high level pointed windows with stone tracery and a small single storey extension between two stepped buttresses with stained glass windows. Bell canopy is located in the western nave gable at high level. Main entrance is via the south door, the north door not used.

Roof is Westmorland slate, the north and south aisle is of a shallower pitch, the north aisle has lead roof covering, the south has metal sheet. The vestry and lady chapel roof is double pitched, covered in mineral felt.

Summary of significance / any potential issues

A simple 20th century building, with no features of particular national interest.

Exterior

L-M

L







<p>The ceiling construction is a barrel, boarded with tie beams and brackets springing from stone corbels with single tie beams, all dark stained. The ceiling extends over the organ loft, sanctuary and chancel. The nave has stone columns in 3 arcades extending to a fourth into the chancel with plastered, painted spandrels. Plastered interior with columns and underside of arches of stone. The floors consist of carpet over solid substrate to the aisle with hardwood block flooring to the pew areas. The organ is located on a gallery at the west end with two sets of organ pipes visible. Stained glass windows at the west end.</p>	<p>Interior L-M</p>
<p>Summary of significance / any potential issues Good roof structure, spacious interior, interesting early font.</p>	<p>L</p>





FURNISHINGS AND FITTINGS		
<p>Altar</p>		<p>L</p>







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	<p>Main altar: Painted timber with inlaid reliquary, single panel frontal with the symbol Chi Roh in gold paint.</p>	
	<p>(NE) War Memorial Chapel: Painted timber similar in style to the main altar.</p>	
	<p>(SE) Chapel: Stone (similar in appearance to concrete breeze blocks) with timber top and inlaid reliquary. Aumbry Adjacent.</p>	
	<p>Lady Chapel: Rough stone legs with solid polished stone top</p>	
<p>Pulpit</p>	<p>None</p>	
<p>Lectern</p>	<p>Carved wooden eagle lectern. Brass plaque reads: <i>To the Glory of God and in Loving memory of WM Waddington D1907, Mary Waddington D1900 and Elizabeth Waddington D 1884.</i></p> <p>Moveable timber platform located behind the lectern to give access.</p>	<p>L-M</p>





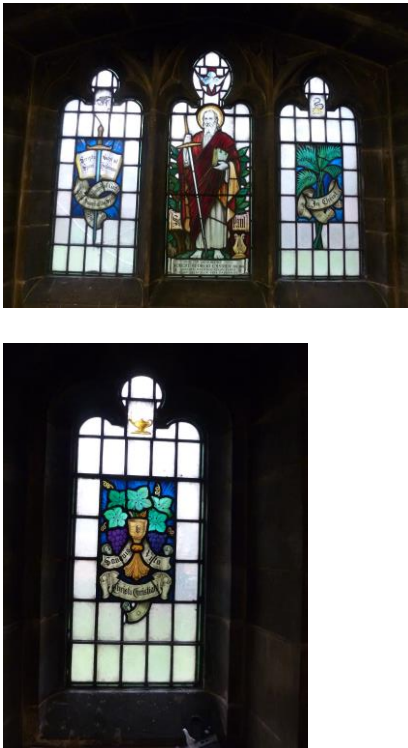
		
<p>Font</p> 	<p>Large crudely detailed stone font. Dating from at least the 13th century, possibly earlier. From the medieval All Saints church in Castleford.</p> <p>A comparable font can be found at Wirksworth, St Mary (Diocese of Derby), this font is said to be Norman in origin.</p>	<p>M</p>
<p>Reredos</p> 	<p>Carved painted wooden crucifix with a brass place which reads: <i>To the Glory of God and in memory of W Musgrave Parish Priest 1954-1985 and his wife Monica. RIP.</i></p>	<p>L-M</p>
<p>Seating</p> 	<p>Simple timber pews.</p> <p>Two small children's chairs.</p> <p>Modern clergy chair of oak with upholstered seat pad.</p> <p>Loose upholstered timber chairs.</p>	<p>L</p>



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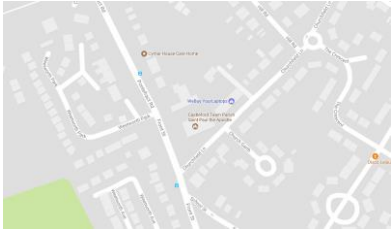



<p>Communion rails</p>	<p>None</p>	
<p>Bells</p> 	<p>A single bell is located under a canopy on the Western gable end of the church building. The bell is stuck at an angle and is not currently rung.</p> <p>The bell rope is located internally at the west end.</p> <p>No further details are available.</p>	<p>L</p>
<p>Organ</p> 	<p>The organ is divided each side of the west window, likely incorporating elements from elsewhere.</p>	<p>L</p>
<p>Monuments</p>  	<p>Tablet marking the formation of the parish of Glass Houghton in 1923.</p> <p>Tablet commemorating the consecration of the extended west end in 1933.</p> <p>Several memorial plaques.</p> <p>Various items of furniture have plaques recording their donation in memory of former parishioners.</p>	<p>M</p>
<p>War memorials</p>		<p>M-H</p>




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	<p>War memorial roll of honour for WW1 and WW2 in the north aisle chapel.</p>	
	<p>Trench cross and plaque.</p>	
<p>Stained glass</p> 	<p>Stained glass by Pickett and Co, Leeds.</p>	<p align="center">L</p>
<p>Communion plate</p>	<p>Various, silver/silver plate and brass.</p>	<p align="center">L</p>

		
<p>Registers</p>	<p>None on site.</p>	
<p>Miscellanea</p> 	<p>Embroidered fabric banner.</p>	<p>L-M</p>
<p>Summary of significance / any potential issues Furnishings contemporary with church, stone altars.</p>		<p>L-M</p>

LOCATION AND SETTING		
<p>Geographic location</p> 	<p>Castleford stands approximately 10 miles south of Leeds and close to junctions 31 & 32 of the M62 motorway. It also stands at the confluence of two major rivers the Aire and Calder. It is part of the metropolitan borough of the City of Wakefield in the metropolitan county of West Yorkshire.</p> <p>Glasshoughton is often also referred to as Glass Houghton.</p>	<p>-</p>
<p>Townscape or landscape setting / context</p> 	<p>The church has strong streetscape presence, it is located within a residential area and has a churchyard with mature trees and vegetation.</p>	<p>M</p>
<p>Churchyard</p> 	<p>The Churchyard is bounded by hedges and trees to the south with a mixture of different hedging, sycamore and apple trees. There is a small area for cremated remains marked with small header stones to the South East and well-kept lawns to the South and West. The site is bounded by a brick wall to the West and timber fencing to the North and East. A high wall and raised beds with brick retaining wall is located adjacent to the Vestry at the South East corner of the site. Large trees grow on the North boundary, a mixture of species including sycamore and beech with a number of new sycamore saplings taking root. This area is also overgrown with brambles.</p>	<p>M</p>
<p>Access/egress to site</p> 	<p>A tarmac drive runs from the main vehicular gate on Pontefract Road to the west of the church and continues to the East. This area is used for parking. A wide path crosses the West elevation and joins a pedestrian route from the South West corner of the boundary; a further tarmac pedestrian path runs along the south elevation to the Vestry.</p>	<p>-</p>

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Parking on/off site, street	There is some on site parking but no designated carpark.	-
Identified risk of flooding	Flood zone 1 Land and property in flood zone 1 have a low probability of flooding.	-
Summary of significance / any potential issues Makes a positive contribution to the streetscape, limited on site carparking.		L-M


ARCHAEOLOGY, ECOLOGY AND HISTORY		
Archaeology	No significant archaeological finds have been reported in the vicinity of the church.	L
Archaeological implications of alternative use (church/ churchyard/ site) and human remains considerations	Garden of remembrance used for the burial of ashes.	L
More detailed history incl. historical associations, people & events	Of local historical interest only.	L
Ecology incl. designations, protected species, TPO etc.	Mature trees around the churchyard, but no known TPOs or other designations.	L
Summary of significance / any potential issues No known significance besides local connections.		L

PLANNING AND AMENITY ISSUES	
Local plan	<p>http://www.wakefield.gov.uk/residents/planning/policy/local-plan</p> <p>Wakefield Council adopted its Core Strategy on 15 April 2009. This will be in place until 2026. The more detailed policies can be found at:</p> <p>http://www.wakefield.gov.uk/residents/planning/policy/local-plan/development-scheme-progress</p> <p>These include the Site Specific Local Policies Plan. The following elements of this are relevant to the church.</p>





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	<p>The former Glasshoughton Colliery site, the edge of which is 800m S of the churchyard, is a major area of development with specific policies in the local plan. Much of it has already been developed and is operational, or has secured significant planning permissions. The nearer portion, to the east of the railway line, includes major completed and committed developments such as a retail outlet centre, the Xscape ski and leisure complex, a DIY superstore and a college of further education. To the west of the railway line, a park and ride railway facility and office developments have been completed. In addition, to the west side of the railway planning permission has been approved in principle subject to section 106 agreement for a community stadium and associated uses and a hotel and offices. The community stadium could potentially accommodate the Castleford Tigers Rugby League Club.</p> <p>There are three large areas allocated for housing nearby, between the railway line and the M62:</p> <ul style="list-style-type: none"> • Land at Flass Lane, Cutsyke (HS22) • Flass Lane, Cutsyke (HS23) • Ackton Pastures (HS24) • Whitwood Mere <p>Other planning policies</p> <p>The church is in the following:</p> <ul style="list-style-type: none"> • Nitrate Vulnerable Zone (surface water): Aire from River Calder to River Ouse (S274) • White Rose Forest • the outer Impact Risk Zone for three SSSIs: Middletwon Ings, Fairburn Ings and Fairburn and Newton Ings • the West Yorkshire Objective 2 area
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OTHER CHURCHES NEARBY	
<p>All Saints Hightown Lumley Street Hightown Castleford WF10 5JU</p> <p>Approximately 1.6km NW. Unlisted; c1864, possibly by Easedale of Castleford; nave, SW tower, S aisle, chancel with organ loft to S and vestry to N. In a small churchyard; unburied but ashes interments. Services: sung mass every Sun, said mass every Weds, morning prayer Mon-Thurs every other week. Church only open for services. Hall with WC and kitchen immediately adjacent to N side of nave (but without integral access to church). In the same benefice as Castleford, St Michael and All Angels.</p>	



<p>St Michael and All Angels, Smawthorne Off Smawthorne Lane Castleford WF10 4EY</p> <p>Approximately 1km NW. Unlisted; 1927-9 by <i>Sir Charles Nicholson</i>; chancel, nave with W gallery and aisles N and S, Lady Chapel and bellcote on NE, vestries and boilerhouse to SE; red brick, stone openings and slate roofs. In a medium-sized churchyard; unburied but ashes interments. Services: sung mass every Sun, said mass every Thurs. Church only open for services. Kitchen and WC in adjacent hall; good parking on site and street parking. In the same benefice as Hightown, All Saints.</p>	
<p>All Saints, Castleford Church Street Castleford WF10 1ES</p> <p>Approximately 1.3km NW. Listed grade II; C13 or perhaps earlier origins but rebuilt 1866-8 by <i>H F Bacon</i>, incorporating some C15 fabric (and seating) in N aisle; nave, aisles N and S, crossing tower, transepts and chancel with N vestry; stone with slate roof. In a medium-sized churchyard within historic core of town; no longer burials but ashes interments. Services: said mass every Sat and Sun, sung mass every Sun, evening prayer Mon-Thurs; the civic church of Castleford. Church only open for services. Kitchenette and parish room, with WC (not accessible) at W end; minimal parking on site; church hall to N of churchyard. In the same benefice as Hightown, All Saints.</p>	

RECORDS AND REFERENCES

- QIR: 20 August 2015/Graham Saxton, PPIY Architects
- Pevsner, Sir N, rev Radcliffe, E – The Buildings of England: Yorkshire The West Riding (2nd ed. Harmondsworth, 1969).
- Archaeology Data Service (<http://archaeologydataservice.ac.uk/>)
- Lambeth Palace Library (<http://images.lambethpalacelibrary.org.uk/luna/servlet>)
- Local authority website (<http://www.wakefield.gov.uk/residents/planning/policy/local-plan>)
- Environment Agency flood maps (www.environment-agency.gov.uk/homeandleisure/37837.aspx)
- Multi Agency Geographical Information for the Countryside website (<http://magic.defra.gov.uk/>)
- National Pipe Organ Register (<http://www.npor.org.uk/>) #SE4424



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The Council's advice is not binding on the DAC or Chancellor and any changes would be subject to the granting of a faculty and consultation.

Compiled by Jacinta Fisher on 28 September 2017 after a visit to the site on 04 September 2017.

In the event of closure Part 3 (Statutory Advisory Committee advice on change) will be attached.



IMAGE SHEET



North elevation



East elevation



South elevation



West elevation



Interior view east



Interior view west

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Font



Lectern



Organ



Miscellanea

Miscellanea



Stained glass



War memorial



Churchyard



Street view

Church Buildings Report PM 2438 Hightown, All Saints (646305)

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PART 1: Summary



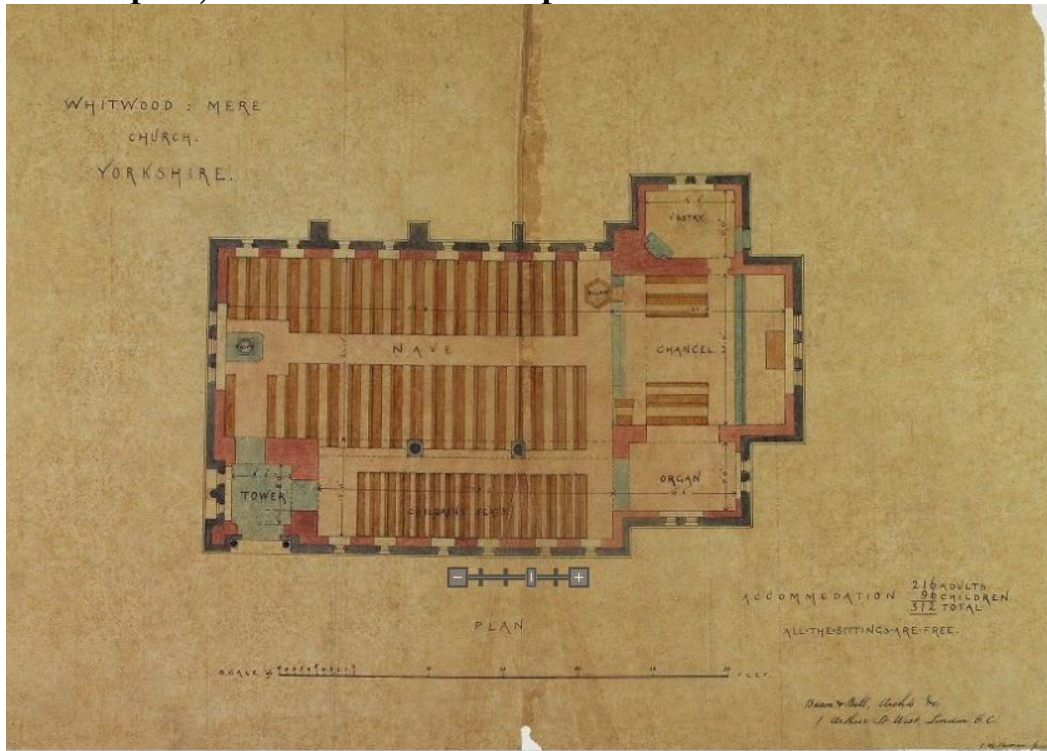
Exterior view from South

Parish: Castleford Team Parish	Dedication: All Saints	Diocese: Leeds	County: West Yorkshire
Benefice: The Benefice of Castleford Team Parish (All Saints) (St Michael and All Angels), Including Glasshoughton, Hightown, and Whitwood		Archdeaconry: Pontefract	Local Authority: Wakefield Metropolitan District Council
Address: Lumley Street, Hightown, Castleford WF10 5LB		NGR: SE 42010 25236	
Listing: Unlisted	Other designations (CA, SAM, SSSI, SINC, TPO etc.): None		
Local population: 25,298	Indices of Multiple Deprivation Rank: 1,479 out of 12,599 (where 1 is the most deprived parish) – CUF		
Key message from the	A stone Gothic Revival church of the 1860s with considerable streetscape		



<p>Church Buildings Council</p>	<p>presence. A sustainable future will depend on undertaking a considerable package of repairs and finding a way to enable integral use of the church and adjacent hall.</p>
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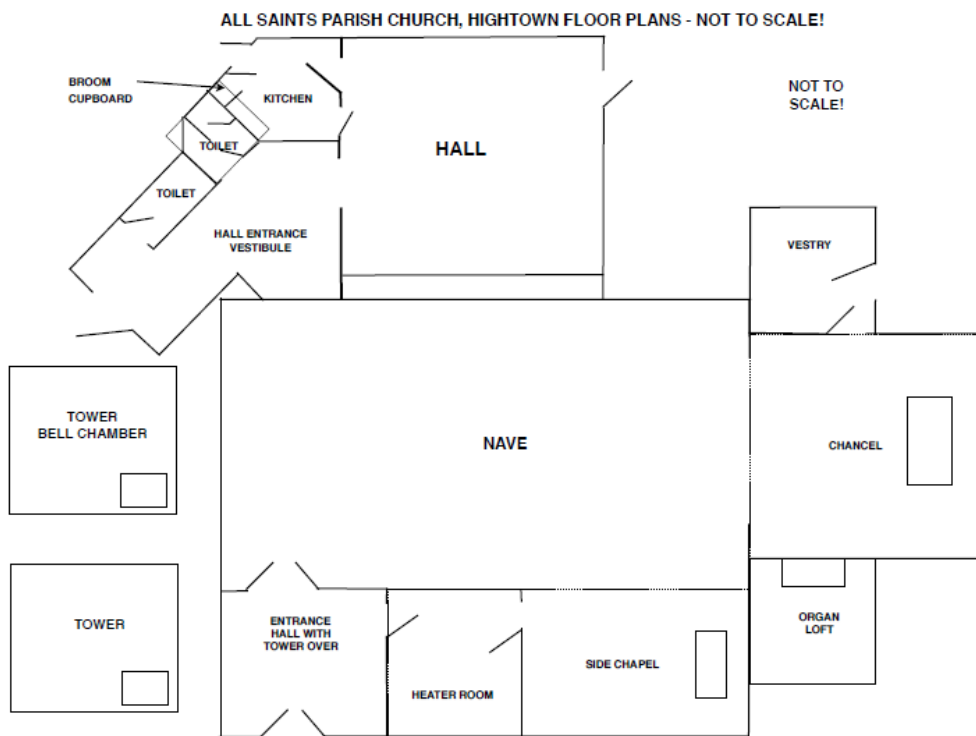
Ground plan, form and constituent parts



Nave, SW tower, S aisle, chancel with organ loft to S and vestry to N; hall immediately adjacent to N side of nave (but without integral access).

Plan 1: Plan signed C M Skinner[?] fecit on behalf of Bacon & Bell Archts 1 Arthur St West, London EC

Taken from Lambeth Palace Library Collection (ref ICBS 06114)




Plan 2 (schematic only; not to scale) from All Saints Fire Precautions Plan

<p>Other buildings or pieces of land</p>	<p>Churchyard and hall adjacent.</p>
<p>Dimensions</p>	<p>Not measured. However, measurements given on the drawing (1) above:</p>



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	<p>Nave: 52' 6" x 24' 0" S aisle (inc vestry/boiler room): 39' 6" x 13' 0" Chancel: 23' 0" x 20' 0" Tower bottom stage: 8' square Organ chamber (max): 16' 6" x 9' 0" N vestry: 12' 0" x 9' 0"</p>
Building materials	<p><i>Exterior:</i> Walls: coursed, squared sandstone rubble on brick core; roofs: slate; details: dressed sandstone, clay ridges <i>Interior:</i> Ceiling: boarded behind revealed structural timbers, stained or painted; walls: plaster with finely carved stone details; floors: stone, mostly carpeted, with timber pew platforms.</p>
<p>State of repair based on latest Quinquennial Inspection Report</p> 	<p>Report by: Graham Saxton Bsc (Hons) MRICS Date: 9 February 2016 Summary: 'The main challenge for the PCC in the short term are the repairs to the tower and West elevation. These should be undertaken as soon as possible, but within the next 12 months if possible. The issue of undersized rainwater good should also be addressed within this timescale. Going forward a programme of roof repairs involving the recovering of the Nave and the South slope of the Chancel and Organ Chamber will need to be addressed. As well as this there are issues going forward with regard to the detrimental effect that previous repointing and patch repairing using cement mortars is having on the stonework. This issue to the tower should be addressed with the other works within 12 months, but the other elevations will need to be tackled going forward. These works will require funding which may be beyond the finances of the PCC. To this end, it is recommended that the PCC should explore the option of Listing the church. This will greatly assist with funding any works to the fabric as they will then qualify for Heritage Lottery Funding under the Listed Places of Worship repair fund. (QI p25) The QI recommends work estimated at £319,000 (ex fees and VAT) over the quinquennium, of which £140,000 is suggested in the first year.</p>
Heritage at Risk Register	No; as an unlisted building, the church is not eligible for inclusion on the HAR Register.
Any additional structural reports	<ul style="list-style-type: none"> • Management Asbestos Survey Report – David Paddison, Assisi Environmental Services, 17 March 2014 • Energy and Sustainability Audit, Summary & Recommendations – David Field, Green Journey, no date
Additional site visit notes	Stonework in visibly poor condition; team vicar reported that the interior has been painted in non-breathable exterior-grade paint and is always damp.
Energy use / services / WCs / access	<p>Supply and connections:</p> <ul style="list-style-type: none"> • Electricity: mains supply; entry point to tower W wall with meter at first stage (ringing and clock chamber) • Gas: mains supply; entry point and meter in SW corner of S vestry • Water: mains supply to hall • Sewerage: mains connection to hall <p>Installations:</p> <ul style="list-style-type: none"> • Power: a few sockets, surface mounted cable; no recent test to installation • Lighting: strip lights in nave at wallplate level and a few spots, uplighters in the S aisle; no recent test to installation

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	<ul style="list-style-type: none"> • Sound: no amplification or hearing loop observed • Heating: gas-fired hot air system; plant in S vestry; working order but noisy and blows the candles out; serviced annually; gas-fired wet system to hall. • WC: in hall, M and F • Kitchen: in hall • Fire protection: extinguishers in place; hall has a fire alarm system • Lightning protection: to tower; tape loose at last QI <p>Access:</p> <ul style="list-style-type: none"> • One step up to S door; two steps to the chancel and one to the sanctuary; upper stages of tower only accessible by ladder; ramped access to hall
Evidence of burials within church	None; the church was built after the 1856 prohibition on intramural burial.
<p>Brief summary of history: c1864; hall added on N side of nave 1990.</p>	
<p>Assessment of significance: Of low to moderate significance overall. This has been determined with reference to the values of the place, ie the church, its contents and churchyard, assessed in line with <i>Conservation Principles</i> (English Heritage, 2008) as follows:</p> <ul style="list-style-type: none"> • Evidential value – the fabric of the church does not offer any significant information about its era which is unique to the historical record but there is modest archaeological potential across the site bearing in mind its location on a principal road near a historic town and in the vicinity of historic industrial and extractive activity; there are no burials but a few interments of cremated remains – L • Historical value - the church is a substantially intact example of new church provision for an expanding industrial town at the peak of the Victorian church building boom; the establishment of the church, the way it was funded and some aspects of the design and furnishing help an understanding of the social and economic as well as the religious history of Castleford at the time – L-M • Aesthetic value – the church is in a deliberately rugged style drawing on examples of medieval churches typical of the north of England; it has considerable impact on its own terms and as part of the streetscape – L-M • Communal value – the church is the focus of the accumulated memories and associations of the parish which it has served over the last one and a half centuries, in particular those associated with the war memorials (a collection with a long time depth from the Boer War to the Balkan conflict), the stained glass windows, the donated furnishings, those baptised in the font, confirmed in the church, married in the church or interred in the churchyard – L-M 	
<p>Assessment of sustainability and potential for change: The Diocesan Buildings for Mission team, in conjunction with a local informal consultation group, have been reviewing the future of the parish’s buildings, as it is not considered sustainable to maintain four churches all with small congregations.</p> <p>The church has some intrinsic factors in its favour that would contribute towards a sustainable future. It has a prominent location on a key route from the town centre towards the satellite suburbs of Hightown and Whitwood. An area to the north is allocated for new housing. The location is all the more important since the closure of both the churches in Whitwood (St James the Greater as recently as 2010) which means that All Saints is now the best placed to serve the western half of the parish.</p> <p>Although the church itself lacks welcome facilities, there is a detached hall immediately adjacent with</p>	



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kitchen and WCs. Unfortunately, there is no direct access between church and hall, which compromises the scope for integral use. The most pressing issue for the church, however, is the condition of the building, in particular the stonework throughout, the tower and the nave and chancel roofs. That raises a considerable financial challenge bearing in mind that Castleford is a deprived town which has seen a decline in traditional industrial employment. With regard to projects contributing to a sustainable future, there is potential for grant from charitable and public sources, including the National Lottery via the HLF (now that there is no restriction to listed places of worship) for a project that conserved and enhanced the use of the heritage asset or the BLF, for a project that stressed community outcomes.

The church is worthy of local listing, were Wakefield MDC to maintain such a list, and is potentially a candidate for the national list. The church could nevertheless sustain a certain amount of change without undue harm to its significance to facilitate a sustainable future. Some reworking of the N vestry to achieve integral access to the church would be feasible. Alternatively, there may be scope for a connection through the north wall of the nave at the west end. The church would benefit from a certain amount of decluttering, especially with regard to chancel furniture and at the west end of the nave. The S vestry, now boiler room, might be repurposed.



PART 2: Detailed assessment and significance

L, M & H refer to Low, Moderate & High significance

GENERAL DESCRIPTION



South façade

All Saints church stands a short way from the road on one of the principal routes into Castleford town centre. It is oriented ENE-WSW (an orientation to the E is assumed for the following description).

The orientation of the church means that the church is roughly parallel to the road. This ensures that its most impressive façade is also the most prominent. Firstly the tower, at the SW corner, then the large two-pitch roof of the nave and S aisle and the smaller version of that roofline over the chancel and organ chamber. Construction is of coursed squared sandstone rubble blocks, weathered black over much of the surface. This contributes greatly to the rugged effect. The architect has chosen distinctively north of England C12/13 models to draw on, though perhaps more like a country church than a town one – when newly built, it was on the edge of the town. This is not a large church but it gives a strong impression of scale and solidity.

The tower is of three stages: the tall first stage has, on the S side, the principal door and a lancet above, with an almost round-arched hoodmould while, on the W side, there is a window of two lights separated by a column with a blocky capital, perhaps intended for carving but not executed; the window is under a blind arch. The shallow second stage is separated by simple stringcourses above and below; the only embellishment is the clockface on the S side (Potts, see below). The third stage has three louvred belfry openings on each side under almost round-arched hoodmoulds. Above this is a bold battlement with just two wide merlons and one aperture on each side. Above this a pyramidal roof with a flagpole.

The principal door (at the foot of the tower) is under a two-centred moulded arch with wide

Exterior

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smooth ashlar voussoirs and a thin hoodmould. The arch rests on colonettes with blocky capitals, again perhaps intended for carving but not executed. The door itself is of two leaves, ledged, framed and boarded and with original ironmongery: curly strap hinges and drop ring handle.

The S aisle has six quite stumpy lancets in pairs. There are two more on the organ chamber on both its S and E facades.

The chancel has three taller lancets, grouped under a blind arch expressed as voussoirs.

On the N side, the treatment is simpler than on the S because there is no aisle. There is therefore merely two simple roof slopes over nave and chancel, with a lean-to roof for the vestry. The vestry has a pair of lancets while the nave has four pairs, most of them now obscured from view owing to the new church hall (1990), though there is a narrow lightwell between them. The hall is built simply of blockwork, mercifully mostly rendered, under a pyramidal slate roof. A lobby and porch wrap round the NW corner of the church.

The W façade presents the gable end of the nave and the W side of the tower. The nave has a trio of lancets under a blind arch, with a round window at the peak of the gable.

Summary of significance / any potential issues

A rugged example of the Gothic Revival, giving a strong impression of C12/13 north of England precedents.

L-M



Interior looking West

The interior is relatively simply treated. Walls are plastered throughout. The few embellishments are in the low column shafts with their florid capitals for the S arcade and the corbels for the chancel arch. These latter rest on even more florid capitals on tiny columns with bases decorated with angels bearing shields (illustrated below).

Interior







		<p>Chancel arch corbel details</p>	
<p>The chancel arch itself is thick and unmoulded masonry and looks like a replacement, as does the chancel ceiling and the intermediate truss. The apex of the pitch above the collar is boarded over which is unlikely to have been the architects' intention bearing in mind that the nave ceiling is open to the apex. The nave roof and ceiling are more in keeping, with arch braces springing from plain corbels, and collars above. The westernmost bay of the S aisle has been partitioned, initially for a (choir) vestry and latterly for the heating system.</p>			
<p>Summary of significance / any potential issues A relatively plain interior with a few embellishments.</p>			<p>L-M</p>






FURNISHINGS AND FITTINGS

<p>Altar</p>			
	<p>In the sanctuary: softwood frame and oak panels, with relief carving of the Lamb and Flag in the central panel, wheat to the L and a the fruiting vine to the R; panels similar to those in the Lady Chapel altar in Castleford, St Michael and All Angels, but not such good quality; most likely later than the original furnishing of 1864, perhaps c1900 and perhaps a made-up piece; positioned away from wall for W-facing celebration (physical evidence suggesting that this is not its original position). With two pairs of freestanding candlesticks and two pairs of altar-top candlesticks.</p>	<p>L</p>	
	<p>In the S aisle chapel: a simple small oak table, possibly part of the original furnishing.</p>	<p>L</p>	
<p>Pulpit</p>			
	<p>On the S pier of the chancel arch: oak, hexagonal, with open tracery panels of two-light openings under cinquefoil arched heads (ogee in one panel) with flowers in the spandrels and on the boldly moulded rail above; lower panels with pairs of blind traceried roundels; resting on a cruciform-plan pierced stand; accessed by a simple wooden four-step stair; most likely part of the original 1864 furnishings.</p>	<p>L-M</p>	
<p>The pulpit has been moved from the N pier of the chancel arch to the S (assuming it was installed as drawn).</p>			

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<p>Lectern</p> 	<p>At the E end of the nave on the N side: brass eagle pattern, with outsize talons and beak; a bold example of a familiar type; possibly part of the original 1864 furnishing.</p>	<p>L-M</p>
<p>Font</p> 	<p>At the W end of the nave on the N side: stone, quatrefoil in plan, so suggesting a cluster of four cylinders, each one with a deeply incised quatrefoil or foiled triangle and terminating in a downward-pointing cone dying into a cruciform shaft; all on a moulded base and plinth and with a brass-topped oak cover. An unusual pattern, perhaps drawing on a Continental original; probably part of the original 1864 furnishing (the quatrefoil shape is similar to that in Castleford, All Saints, which was also designed by <i>HF Bacon</i>). At some stage, the bowl section has been covered in a course limewash slurry which has started to flake off; some details have been painted; neither treatment would appear to be original decoration.</p> <p>The font appears to have been moved a short way N from its original position centrally under the W window (assuming it was installed as drawn).</p>	<p>L-M</p>
<p>Reredos</p>  	<p>On the E wall of the sanctuary: oak, tripartite, with blind arcading and Dec-style tracery; similar panelling without the tracery lining the chancel E wall either side; 1958 (plaque on E wall).</p> <p>On the E wall of the S aisle chapel: a textile hanging or quilt, with local scenes rendered in collage; inscribed Whitwood 2000, presumably a Millennium project.</p>	<p>L</p> <p>L</p>
<p>Seating</p>		

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	<p>In the chancel: a variety of clergy chairs and reading desks, mostly postwar; one C19 hall chair in the early C18 style.</p>	<p align="center">L</p>
	<p>At the W end of the nave on the N side: an oak pew or choir stall with big poppyhead bench ends (one broken) and a similar middle division; high Gothic Revival style, so perhaps part of the original furnishings of 1864 or a refugee from another church.</p>	<p align="center">L</p>
	<p>In the nave, N and S: fixed benches, stained deal, of a very simple pattern, the only embellishment being the pew fronts at the E end, each of three panels with crude cinquefoil tracery. An intact example of the simplest type of pewing from a busy period of the Victorian church building boom.</p>	<p align="center">L</p>
<p>Communion rails</p>  	<p>In the chancel: moulded rail supported on octagonal shafts with spindly Churchwarden-style tracery; 1958.</p> <p>In the S aisle chapel: oak rail on a wrought iron or steel stand.</p>	<p align="center">L</p> <p align="center">L</p>
<p>Bells</p>	<p>In the tower: 3 bells by James III Harrison of Barton-upon-Humber, 1830 (George Dawson list, under Wakefield diocese, ref 40/254); the only complete ring of bells by him in the (former) diocese of Wakefield. The bells were removed from the old church of All Saints when it was rebuilt 1866-8. They may have been brought here straight away and stored, as the tower</p>	<p align="center">L-M</p>

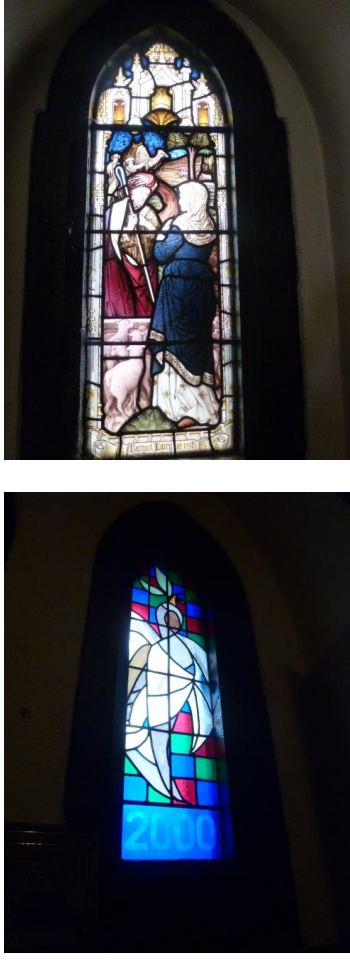

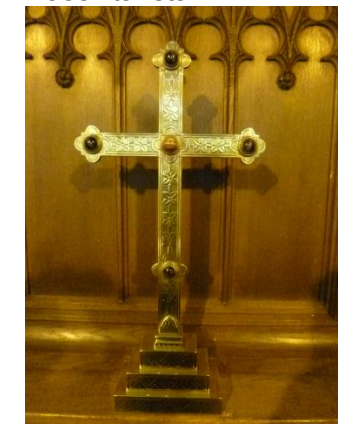


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	<p>was not built until c1888. The bells were installed c1890.</p> <p>In May 1974, the installation was reported as having elm headstocks and plain bearings in a low side oak frame. The headstocks have since been replaced.</p>	
<p>Organ</p> 	<p>Two-manual and pedal organ, by Wood Wordsworth & Co of Leeds. From console (which has electric stop tabs) it appears to have been rebuilt post-WW2, and the case pipes sprayed gold.</p> <p>Further research will be needed to establish if it contains material of significance.</p>	<p><i>tbc</i></p>
<p>Monuments</p>	<p>None.</p>	<p>-</p>
<p>War memorials</p>  	<p>A broad span, all mounted at the W end of the nave (the third and fifth on the return wall to the N):</p> <p>Memorial to Walter Hepworth, 11th Company Imperial Yeomanry, †24/4/1902, at Aberdeen, S Africa; engraved brass plaque.</p> <p>First World War memorial; white marble with grey veins, in the shape of a headstone with arched top (illustrated).</p> <p>Memorial to Pte George Baker, Yorkshire Regt., †1/7/1916, the first day of the Somme; white marble scroll realistically modelled (illustrated).</p> <p>Memorial to Guardsman Thomas William Ball, Scots Guards, d. wounds received on 28/8/1917; white marble tablet with grey veins.</p> <p>Memorial to Capt Steven Peter Wormald, Royal Anglian Regt., †29/4/1994, at Pajic Polje, Bosnia, serving as a UN Peacekeeper; slate plaque engraved with regimental badges.</p>	<p>M</p>
<p>Stained glass</p>	<p>Aside from the one modern window, the stained and painted glass is a mixture of dates, 1869-1919, but reasonably coherent</p>	<p>L-M (some L)</p>






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	<p>in style. Several of them are faded and distressed, possibly owing to the secondary glazing system in place on most windows. It would be useful for the church to investigate whether there are records which would indicate makers.</p> <p>E wall of the chancel: three lancets, The Crucifixion</p> <p>N wall of the nave, counting from the E:</p> <ol style="list-style-type: none"> 1. Plain diamond quarries 2. <i>Mine eyes have seen thy salvation</i> (1919) 3. <i>Christ and the little children</i> (1869) 4. <i>Abraham and Sarah</i> (1895) 5. <i>Christ healing the sick</i> (1894) 6. Plain diamond quarries 7. Blind arch 8. <i>Adoration of the Shepherds</i>, (1893), illustrated <p>W wall of the nave: three lancets, a mixture of painted and stained glass; two different hands?</p> <p>S wall of the aisle and S vestry: six lancets, all with stained/painted glass</p> <p>Tower: lower stage: one stained and painted glass window, 1902; one stained glass window, 2000 (illustrated)</p> <p>It would be helpful for all the makers, dates and subjects of the windows to be researched.</p>	
<p>Communion plate</p> 	<p>In the N vestry safe: three patens and a footed paten (930 silver, so probably Continental), three chalices, one with a gilt bowl, and a ciborium; plus a box and a bowl. None obviously make a set; hallmarks not inspected.</p>	<p>L/L-M</p>
<p>Registers</p>	<p>Not seen.</p>	<p>-</p>
<p>Miscellanea</p> 	<p>In the sanctuary: a sanctuary lamp, brass with a cranberry glass liner, suspended from the ceiling; seemingly not adapted to electricity.</p> <p>In the sanctuary: an engraved brass cross with semi-precious stones en cabochon</p>	<p>L-M</p> <p>L-M</p>






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	<p>At the W end of the nave: an oak table, pierced with trefoils; a solid and rather crude piece but perhaps part of the original furnishing</p>	<p>L</p>
	<p>In the tower (first stage): clock, W Potts & Sons, Leeds, 1905 NB a specialist assessment would be helpful to verify whether the clock has an intact mechanism.</p>	<p>M</p>
<p>Summary of significance / any potential issues Some survivals from the original furnishings; an interesting assemblage of war memorials.</p>		<p>L-M</p>

<p>LOCATION AND SETTING</p>	
<p>Geographic location</p> <p><i>Map of the area from Google maps</i></p>	 <p>Castleford stands immediately S of the confluence of the rivers Aire and Calder in West Yorkshire. The M62 passes the S edge of the town and the A1(M) passes the E edge. The towns of Normanton, Pontefract and Knottingley are each approximately 5km away, and Wakefield and the city of Leeds a little further away.</p> <p>The church is close to the town centre of Castleford, 750m NE. It stands near the junction of Hightown High Street,</p>



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	Aketon Road and Lumley Road (the road towards Normanton).	
Townscape or landscape setting / context 	The setting is urban/suburban; with some shops and, opposite, a cricket club and a college converted from the church school; the road is busy.	L
Churchyard 	Laid to grass on the SE and N sides. The churchyard has never been used for burials as a large cemetery for the town had been established at Healdfield Road in 1857. However, there are interments of cremated remains on the S side either side of the path to the S door.	L
Access/egress to site 	Vehicular gates and tarmac drive along W side of churchyard; Pedestrian gates and path from street to S porch. All level. It would be a good idea to have a zebra or pelican crossing to facilitate access from the carpark shared with the cricket club.	L-M
Parking on/off site, street	A few spaces on the W side of the churchyard. The church has an arrangement with Castleford Cricket Club, which has a carpark on the opposite side of Lumley Street.	L-M
Identified risk of flooding	This church is located in flood zone 1, meaning that there is a low probability of flooding in this location.	-
Summary of significance / any potential issues The church makes a positive contribution to the streetscape and the approach to Castleford town centre.		L-M

ARCHAEOLOGY, ECOLOGY AND HISTORY		
Archaeology	An excavation at nearby Hightown Bottle Works in 2007 revealed evidence of C19-20 glassmaking.	L
Archaeological implications of alternative use (church/ churchyard/ site) and human remains considerations	There is some archaeological potential across the site bearing in mind its location on a principal road near a historic town and in the vicinity of historic industrial and extractive activity; there are no burials but a few interments of cremated remains.	L
More detailed history incl. historical associations, people &	Castleford is an ancient settlement which grew up around the site of the Roman fort and its vicus or civilian town (Lagentium) on the south bank of the River Aire, 600m to the	L-M



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events	<p>N. It remained a compact town until the C19 when rapid industrial growth led to a population surge. This was based on pottery and glass making and, relatively late, coalmining. This last generated a boom and a number of large collieries were established from the 1860s, at Wheldale (1868), Glasshoughton (1869), Prince of Wales (1872), Fryston (1873), Whitwood (1873) and Allerton Bywater (1875).</p> <p>In 1860, Castleford had only one Anglican church, the ancient All Saints in the town centre. The expansion of population warranted more church provision, even if a considerable portion of the miners' families tended towards nonconformity. This pressure was already enough in 1859 to warrant the PCC resolving to provide for better accommodation in the parish church. This led to a plan for (almost complete) rebuilding which was not started on until 1866.</p> <p>This coincided with another initiative. In 1862, a leaflet was published referring to the 'Spiritual destitution of the Township of Whitwood'. In view of where the church was to be established, this probably referred primarily to Whitwood Mere, an area of potteries and brickworks to the west of Castleford just beyond the parish boundary, in the large country parish of Featherstone. Whitwood itself lay further to the west, though it too had industrial employment and no church. The patrons of Featherstone parish, the Dean and Chapter of Christ Church Oxford, were prevailed upon to give up a large proportion of the income they derived from their lay rectorship, a sum amounting to £240 per year, to pay the stipend for two priests to work in the parish. The first of these, the Reverend Edward Maule Cole, was appointed perpetual curate and set about raising funds for the erection of a new church building. The estimated cost was £1,500 and through the donation of land and £200 from the Earl of Mexborough, a fund was established. T D Bland of Kippax Park, a colliery owner, gave £50, Whitwood Colliery £40, the Reverend Dr Pusey £25 and one A Jessop, £21. Grants of £200 from the Incorporated Church Building Society and £64 from the Diocesan Church Building Society were secured. By the end of January 1864 over £1,200 had been raised.</p> <p>A local tradition has it that the new church was formed by a breakaway element from Castleford All Saints. It may be that there was a degree of frustration arising from the years of patching up the old church in the town and the slowness of putting in hand the rebuilding. It may also be that the overt party politics (in the Conservative interest) of the incumbent at old All Saints, WTM Sylvester, alienated some. However, it seems unlikely that a schismatic group would have attracted such an illustrious list of donors or indeed the gift of the bells from the old church.</p> <p>The architects chosen were <i>Henry Francis Bacon</i> (b1832) and <i>Edward Ingress Bell</i> (1836/7-1914). Bacon was also the</p>	
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architect for the rebuilding of Castleford, All Saints, 1866-8. He and Bell were in partnership from 1860 when they were still both in their 20s. The church at Hightown was therefore one of their first commissions.

The choice of the site was significant. Firstly, it was in the thick of the industrial landscape: the north boundary of the churchyard overlooked a huge claypit and brickworks (latter a glass bottle works). Secondly, it lay just outside the parish of Castleford and on the main road from the west – the same road as Castleford church only 750m away in the town centre. The location was no doubt intended to focus the mission on Whitwood Mere immediately to the north but it will have attracted people from Hightown hamlet, on the Castleford side of the boundary (see OS map extract, from the 1893 25" sheet), as well. The dedication is also perhaps a surprise, as it was the same as Castleford church. All Saints was a common dedication for early foundations in the West Riding; perhaps it was intended to rapidly establish the credentials of the new church. That may also explain the design of the building and a number of the contents which, even within the context of the Gothic Revival, exemplify a deliberately historicising tendency. Perhaps the most striking aspect of this is the choice of material. The church was built in brickwork and faced in sandstone – only inside the upper stages of the tower is the brick core visible. A thrifty way of creating the ancient look so prized in the first generation after Pugin.



The Church was built in 1864 and dedicated on 2nd December the same year. The tower was not built until the 1880s, no doubt because of financial pressures. There are aspects of the internal finishes and furnishings which give an impression of cost-saving measures late on in the project.



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	<p>Revd Cole left for a parish in East Yorkshire in 1865 (with a rather larger income) and was succeeded by Joseph Games Gibbs. By 1867, a new parish of Whitwood Mere had been established and the curacy had been upgraded to a rectory. Meanwhile, a new church was built at Whitwood (St Philip, plans dated 1865, completed c1867).</p> <p>Latterly, the PCC built a hall adjacent to the church, in 1990 (illustrated). This was not made directly integral with the church, though it was arranged to enable a doorway to be added later between the two buildings at the west end of the nave on the north side (through the blind window, no7 – see above under <i>stained glass</i>). This was apparently designed to ensure a zero-rating for VAT.</p> <p>NB It is worth bearing in mind that, in historical records, even recent ones, the parish is referred to as Whitwood Mere or Mere rather than Hightown.</p>	
<p>Ecology incl. designations, protected species, TPO etc.</p>	<p>National soilscape data indicates the prevailing soil type to be slowly permeable seasonally wet acid loamy and clayey.</p> <p>There are no trees or shrubs.</p> <p>The church is in the breeding distribution area for the following bird species recorded by the National Biodiversity Network: curlew, grey partridge, lapwing, redshank, snipe, tree sparrow.</p>	<p align="center">L</p>
<p>Summary of significance / any potential issues</p>		<p align="center">L</p>

<p>PLANNING AND AMENITY ISSUES</p>	
<p>Local plan</p>	<p><i>Local plan</i></p> <p>Wakefield Council adopted its Core Strategy on 15 April 2009. This will be in place until 2026. The more detailed policies can be found at: http://www.wakefield.gov.uk/residents/planning/policy/local-plan/development-scheme-progress</p> <p>These include the Site Specific Local Policies Plan. The following elements of this are relevant to the church.</p> <p>The former Glasshoughton Colliery site, the edge of which is 800m S of the churchyard, is a major area of development with specific policies in the local plan. Much of it has already been developed and is operational, or has secured significant planning permissions. The nearer portion, to the east of the railway line, includes major completed and committed developments such as a retail outlet centre, the Xscape ski and leisure complex, a DIY superstore and a college of further education. To the west of the railway line, a park and ride railway facility and office developments have been completed. In addition, to the west side of the railway planning permission has been approved in principle subject to section 106 agreement for a community stadium and associated uses and a hotel and offices. The community stadium could potentially</p>



	<p>accommodate the Castleford Tigers Rugby League Club.</p> <p>There are three large areas allocated for housing nearby, between the railway line and the M62:</p> <ul style="list-style-type: none"> • Land at Flass Lane, Cutsyke (HS22), 1km SE • Flass Lane, Cutsyke (HS23), 2km SE • Ackton Pastures (HS24), 1km S <p>and another at Whitwood Mere, 0.5km N.</p> <p><i>Other planning policies</i></p> <p>The church is in the following:</p> <ul style="list-style-type: none"> • Nitrate Vulnerable Zone (surface water): Aire from River Calder to River Ouse (S274) • White Rose Forest • the outer Impact Risk Zone for three SSSIs: Middletwon Ings, Fairburn Ings and Fairburn and Newton Ings • the West Yorkshire Objective 2 area
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OTHER CHURCHES NEARBY – from ACNY and noted on request form; usually 2 or 3	
<p>Castleford, All Saints 0.7km NNW, in Castleford town centre. Listed grade II; C13 or perhaps earlier origins but rebuilt 1866-8 by <i>H F Bacon</i>, incorporating some C15 fabric (and seating) in N aisle; nave, aisles N and S, crossing tower, transepts and chancel with N vestry; stone with slate roof. In a medium-sized churchyard within historic core of town; no longer burials but ashes interments. Services: said mass every Sat and Sun, sung mass every Sun, evening prayer Mon-Thurs; the civic church of Castleford. Church only open for services. Kitchenette and parish room, with WC (not accessible) at W end; minimal parking on site; church hall to N of churchyard. In the same benefice as Hightown, All Saints.</p>	
<p>Castleford, St Michael and All Angels 1km ESE, off Smawthorne Lane Unlisted; 1927-9 by <i>Sir Charles Nicholson</i>; chancel, nave with W gallery and aisles N and S, Lady Chapel and bellcote on NE, vestries and boilerhouse to SE; red brick, stone openings and slate roofs. In a medium-sized churchyard; unburied but ashes interments. Services: sung mass every Sun, said mass every Thurs. Church only open for services. Kitchen and WC in adjacent hall; good parking on site and street parking. In the same benefice as Hightown, All Saints.</p>	

Glasshoughton, St Paul the Apostle

0.7km SE, Pontefract Rd/Churchfield Lane
Unlisted; 1900-02, by *Demaine & Brierley*, W extension 1933; chancel, nave and aisles N and S, with SW porch and narthex, Lady Chapel on SE plus vestry beyond; red brick and slate roofs. In a medium sized churchyard; unburied but ashes interments.

Services: sung mass every Sun, said mass every Weds, morning prayer Mon-Thurs every other week. Church only open for services. No kitchen or WC; no hall; some parking on site and street parking.

In the same benefice as Hightown, All Saints.



RECORDS AND REFERENCES

- A Church Near You (<http://www.achurchnearyou.com/>) – entry for Featherstone parish
- Archaeology Data Service (<http://archaeologydataservice.ac.uk/>) – map search
- British History Online (<http://www.british-history.ac.uk/>), entry for Whitwood
- Castleford team parish website: (<http://www.castlefordteamparish.org.uk/>)
- Church Urban Fund (<http://www2.cuf.org.uk/lookup-tool>)
- Environment Agency flood maps (www.environment-agency.gov.uk/homeandleisure/37837.aspx)
- George Dawson’s National Bell Register (<http://georgedawson.homestead.com/>) ref 40/230
- Lambeth Palace Library (<http://images.lambethpalacelibrary.org.uk/luna/servlet>)
- Local authority website (<http://www.wakefield.gov.uk/>) – pages on planning and TPOs
- Multi Agency Geographical Information for the Countryside website (<http://magic.defra.gov.uk/>)
- National Heritage List for England (<http://list.english-heritage.org.uk>)
- National Library of Scotland: historic map images (<http://maps.nls.uk/os/>)
- National Pipe Organ Register (<http://www.npor.org.uk/>) entry SE4225

- *Crockfords Clerical Directory*, 1868 (available online via www.Ancestry.co.uk), pp140, 252, 637
- Felstead, A, Franklin, J and Pinfield, L (compilers), *Directory of British Architects 1834-1900* (London, 1993), p34, 72
- Greenwood, D *The Bells of the Churches in the Diocese of Wakefield*, (Huddersfield, 1995), p150-1
- Harman, R, Pevsner, Sir N, Sharples, J – *The Buildings of England: Yorkshire West Riding, Sheffield and the South* (London and New Haven, 2017)
- Quinn, JMV *For All the Saints, A History of Castleford Parish Church* (1993), chapter 4 passim

- QIR – Graham Saxton, 2016
- Asbestos survey and Energy and Sustainability Audit

The Council’s advice is not binding on the DAC or Chancellor and any changes would be subject to the granting of a faculty and consultation.

Compiled by Guy Braithwaite on 2 October 2017 after a visit to the site on 5 September 2017.

In the event of closure Part 3 (Statutory Advisory Committee advice on change) will be attached.



IMAGE SHEET



South elevation



North elevation



East elevation



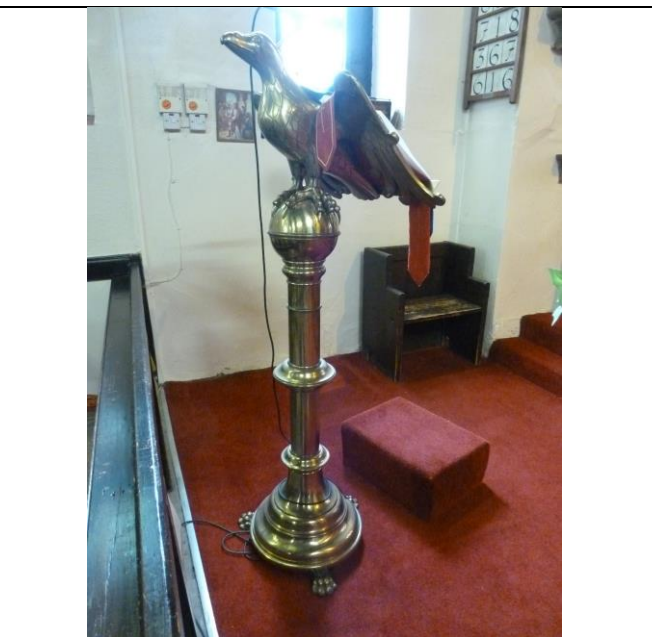
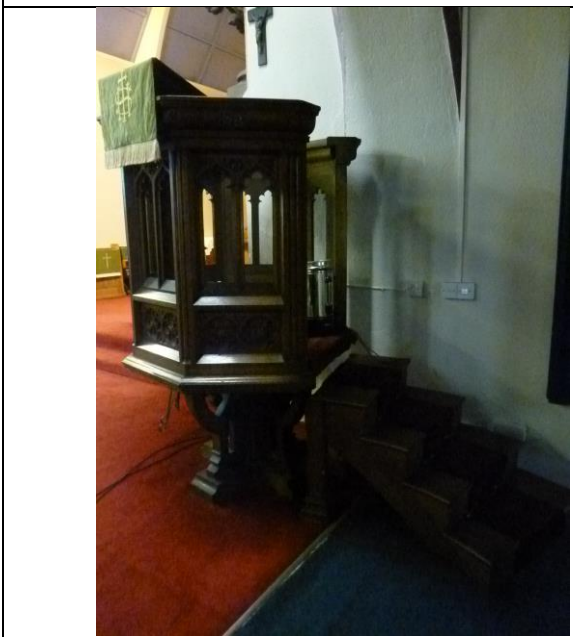
West elevation



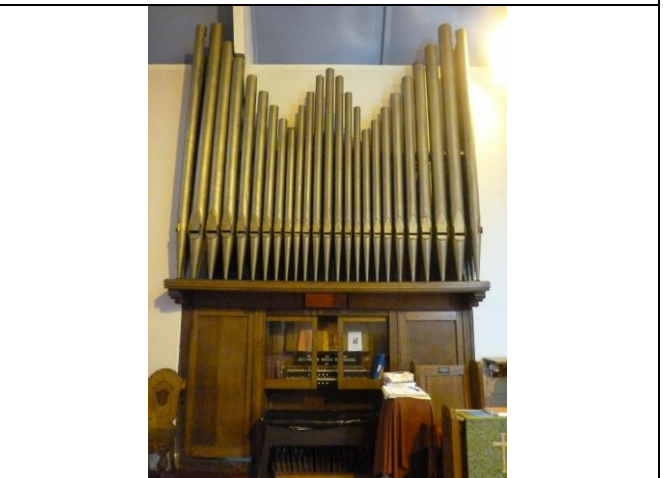
Interior view east

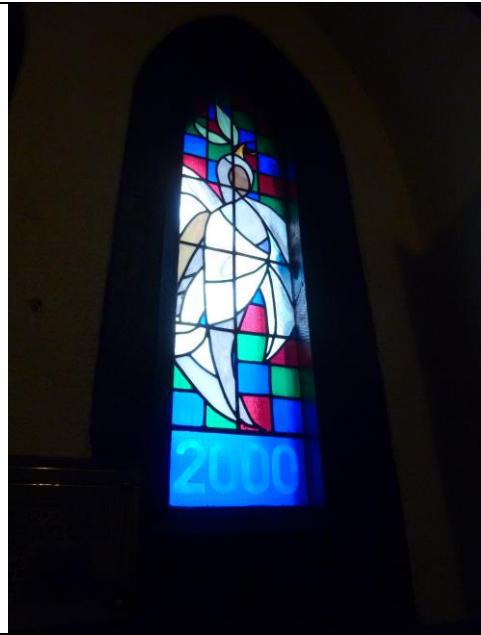
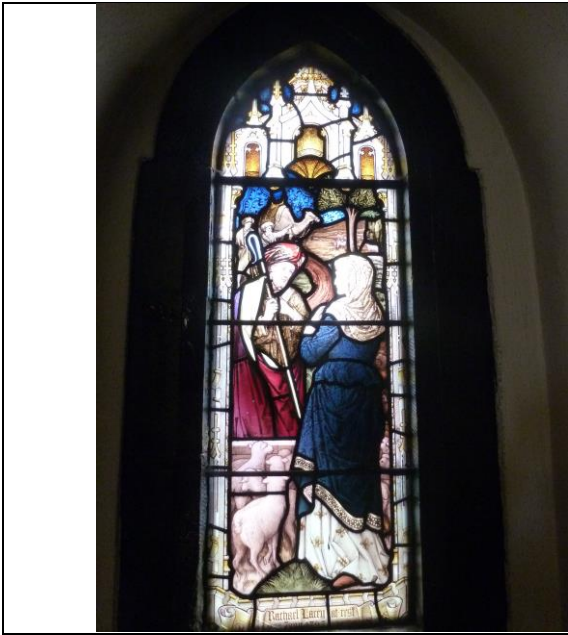


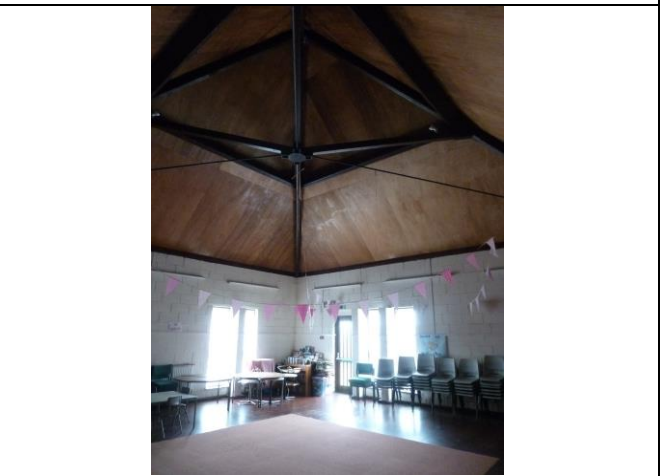
Interior view west











Church Buildings Report PM 2436 Castleford, St Michael and All Angels (646134)

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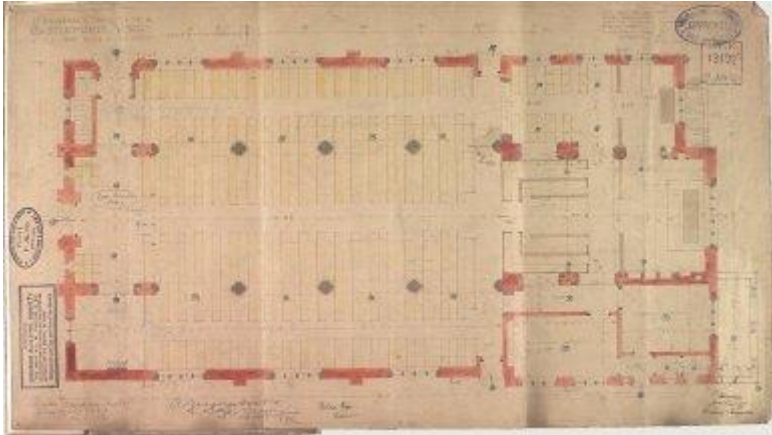
PART 1: Summary



North elevation

Parish: Castleford Team Parish	Dedication: St Michael and All Angels	Diocese: Leeds	County: West Yorkshire
Benefice: The Benefice of Castleford Team Parish (All Saints) (St Michael and All Angels), Including Glasshoughton, Hightown, and Whitwood	Archdeaconry: Pontefract	Local Authority: Wakefield Metropolitan District Council	
Address: St Michaels Close, Off Smawthorne Lane, Castleford WF10 4EY		NGR: SE 42957 25132	
Listing: Unlisted	Other designations (CA, SAM, SSSI, SINC, TPO etc.): None		
Local population: 25,298	Indices of Multiple Deprivation Rank: 1,479 out of 12,599 (where 1 is the most deprived parish) – CUF		

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<p>Key message from the Church Buildings Council</p>	<p>A late example of the Gothic Revival, well-planned and well-built, St Michael's deserves local listing. With some investment in its welcome facilities, it could find complementary use as a venue, especially for music performance, given its auditorium-style principal space.</p>
<p>Ground plan, form and constituent parts</p> 	<p>Nave, aisles N and S, chancel, N aisle chapel, choir vestry and clergy vestry to S, W gallery/organ loft, boiler house attached to clergy vestry</p> <p><i>Plan signed by Charles A Nicholson, 04/07/1926</i></p> <p><i>Taken from Lambeth Palace Library Collection (ref ICBS 11710b)</i></p>
<p>Other buildings or pieces of land</p>	<p>Churchyard, including hall</p>
<p>Dimensions (internal)</p>	<p><i>Taken from the drawing above</i></p> <p>Nave (from piers of the W door to chancel step): 72' 4½" x 21' 9"</p> <p>N aisle (including baptistery): 73' 6" x 12' 9"</p> <p>N aisle chapel: 30' 0" x 14' 3"</p> <p>S aisle (max): 69' 9" x 12' 9"</p> <p>Chancel: 35' 3" x 19' 6"</p> <p>Choir vestry: 18' 0" x 10' 6"</p> <p>Clergy vestry: 15' 4½" x 11' 7½"</p>
<p>Building materials</p>	<p><u>Exterior</u>: Walls: red brick with grey engineering brick copings; roofs: slate; window cills, reveals, tracery, lintels and steps: stone; RWG: some cast iron, otherwise uPVC</p> <p><u>Interior</u>: Ceiling: wooden; walls: plaster, with stone window surrounds; stone arcades; floors: stone flags for alleys and woodblocks elsewhere</p>
<p>State of repair based on latest Quinquennial Inspection Report</p>	<p>Report by: Graham Saxton Bsc (Hons) MRICS</p> <p>Date: 20 August 2015</p> <p>Summary:</p> <p>'The condition of the building is generally good, however the condition of the Bellcote is of concern and this needs to be addressed and can no longer be ignored. There is a good deal of open jointing to the external brickwork, unfortunately this is in isolated areas mostly which adds to the access costs to complete works. Protection to a number of windows is in poor condition ... and should be replaced in stainless steel powder coated mesh, which is costly as they should be fitted to the window openings. The problems with the condition of the Boiler House must be addressed as this is now causing damage to the main building. Either the Boiler House should be demolished or the fabric renovated. Moisture in the base of the walls likely caused by the damp proof course being breached as a result of external ground levels need addressing. Also there is need to improve the ventilation in the internal spaces by the renovation of window openers. Once these two items are addressed internal finishes can be improved.'</p>



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	(QI p22) The QI report recommends work estimated at £40-42,000 over the quinquennium.
Heritage at Risk Register	No; as an unlisted building, the church is not eligible for inclusion on the HAR Register.
Any additional structural reports	<ul style="list-style-type: none"> • Management Asbestos Survey Report – Breedon Beveridge, Assisi Environmental Services, 14 March 2014 • Energy and Sustainability Audit, Summary & Recommendations – David Field, Green Journey, 22 November 2016
Additional site visit notes	Condition was as recorded in the 2015 QI. The church is, for the most part, well looked after.
Energy use / services / WCs / access	<p>Supply and connections:</p> <ul style="list-style-type: none"> • Electricity: mains supply; entry point and meter in cupboard beneath gallery stair at NW corner; there is a cable run on the N façade from the W end to the Lady Chapel; not ideal • Gas: mains supply (into choir vestry, with meter) • Water: mains supply disconnected • Sewerage: presumably mains but not confirmed <p>Installations:</p> <ul style="list-style-type: none"> • Power: few sockets; sound amplification equipment powered via extension lead trailing from pulpit to vestry. NB 2015 QI recommends that the installation be tested • Lighting: large electric lamps fixed to tie beams in nave and transverse beams in aisles (light switch prominently above pulpit); insufficient number to light the space adequately; directional spots on track system in Lady Chapel. NB 2015 QI recommends that the installation be tested. • Sound: no hearing loop; portable amplification system in pulpit (precarious) • Heating: Gas-fired blown-air system moved here from Hightown, All Saints (see below). Plant in choir vestry contains two units: one (inoperative) serving nave via vent into S aisle, the other (operational but not very effective; serviced annually) serving the chancel via vent into vestry passage opposite the chancel arcade; circulation assisted by rotary fan suspended from nave tie beam. Previous wet system via pipework and cast iron radiators throughout the building in situ but now redundant. Portable calor gas heater in S aisle. • WC: at SE corner; in situ but not operational. • Kitchen: none. • Fire protection: new extinguishers in 2015; no emergency lighting or signage • Lightning protection: tape from bellcote, eastwards along Lady Chapel roof and down chancel N wall; NB 2015 QI recommends that the missing section of lightning conductor tape be replaced, tested and a protective cover installed. <p>Access:</p> <ul style="list-style-type: none"> • There is no level access into the building and a portable ramp is available for use. The principal entrance (which is the one in general use) is at the W end of the N aisle and is approached by 3 steps. Almost level access is available through the west door (one step) but, though it has furniture for emergency escape, this door is



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	<p>out of use. There are doors at the E end of both aisles; that on the N side is fixed in place and cannot be opened. The vestry passage has an external door but it is understood that there is no longer a key available.</p> <ul style="list-style-type: none"> • Within the building, there is a continuous rake from the west end down to the (single) chancel step; there is a further step at the communion rail and three more for the high altar; the Lady Chapel has a sanctuary step; there is a single step to the vestry passage.
<p>Evidence of burials within church</p>	<p>None; the church was built after the 1856 prohibition on intramural burial.</p>
<p>Brief summary of history: 1927-9, by <i>Sir Charles Nicholson</i>.</p>	
<p>Assessment of significance: Of low to moderate significance overall. This has been determined with reference to the values of the place, ie the church, its contents and churchyard, assessed in line with <i>Conservation Principles</i> (English Heritage, 2008) as follows:</p> <ul style="list-style-type: none"> • Evidential value – the fabric of the church does not offer any significant information about its era which is unique to the historical record but there is modest archaeological potential across the site bearing in mind its location near historic industrial and extractive activity; there are no burials but a few interments of cremated remains – L • Historical value - the church is a substantially intact example of new church provision for an expanding industrial town commissioned from an architect with a national reputation; the ensemble also reflects the strong impact of a private benefactor, though the patron’s wider influence in the area round the church is now almost gone – L-M • Aesthetic value – the church is an assured essay in the English late Gothic style by a late practitioner of the Gothic Revival; the exterior has an unusual form of bellcote which provides drama and streetscape interest; the interior has dignity and grandeur – L-M • Communal value – the church is the focus of the accumulated memories and associations of the parish which it has served over the last century, in particular those associated with the stained glass windows in the Lady Chapel, the recent reredos in the sanctuary and the few interments of cremated remains in the churchyard – L-M 	
<p>Assessment of sustainability and potential for change: The Diocesan Buildings for Mission team, in conjunction with a local informal consultation group, have been reviewing the future of the parish’s buildings, as it is not considered sustainable to maintain four churches all with small congregations. This is timely, as St Michael’s has suffered in recent years from an assumption that it is already on the path to closure.</p> <p>The church has some intrinsic factors in its favour that would contribute towards a sustainable future. It is in the heart of an established residential area with several areas beyond designated or being developed for new housing. The area has few other amenities besides the church. The spacious interior offers good accommodation for large and small services, with a degree of flexibility provided by the nature of its seating and the three distinct worship areas. The building has good sight lines and acoustics and would lend itself to complementary use, especially as a performance venue. Although the church itself lacks welcome facilities, there is a detached hall adjacent which can accommodate 80-100 people and has a kitchen and WCs and an area of hardstanding for parking. Alongside these advantages, there are some challenges arising from the fact that the church is in a deprived area which has seen a decline in traditional industrial employment. With regard to projects contributing to a sustainable future, there is potential for grant from charitable and public sources, including the National Lottery via the HLF (now that there is no restriction to listed places of worship) or the BLF, for a project that stressed community outcomes.</p> <p>If it is not possible to sustain the existing parochial use, then it may be worth considering making the building available as a resource church.</p>	



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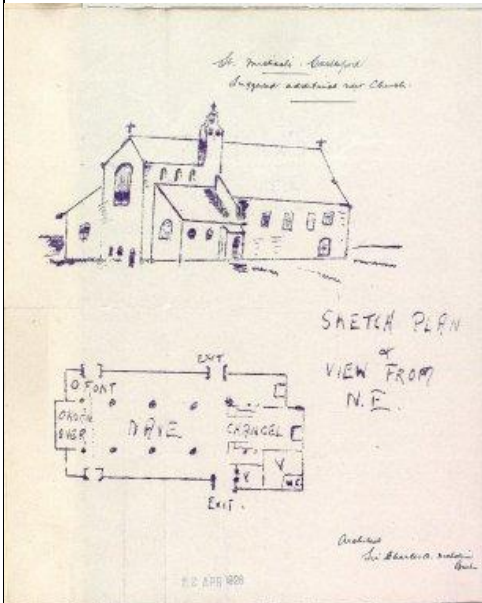
The church is worthy of local listing, were Wakefield MDC to maintain such a list. The church could nevertheless sustain a certain amount of change without undue harm to its significance to facilitate a sustainable future. The congregational seating could easily be made moveable; there are two good sized vestries which could be adapted; there is space under the west gallery which could be screened and/or subdivided. There is scope for extension especially on the S side.



PART 2: Detailed assessment and significance

L, M & H refer to Low, Moderate & High significance

GENERAL DESCRIPTION



Sketch by Nicholson, 1926 (ICBS11710a) and N elevation

St Michael's stands neatly in the middle of a rectangular churchyard. It is oriented ENE-WSW (an orientation to the E is assumed for the following description).

The approach is from the N, so the visitor is presented with the sizeable N flank of the church first. This is the façade which prompted a comment from Pevsner, in his otherwise largely dismissive account of Castleford (written in 1959 and retained in the 1969 revision of the West Riding volume). He admired the fact that the bellcote was set against the N wall of the chancel at its W end, above the Lady Chapel and at right angles to the usual direction of a bellcote. This simple tweak, which appears to have been in Nicholson's mind from the outset (see sketch reproduced above), has a surprisingly strong effect. It enlivens what might otherwise be a rather relentless expanse of brick wall and continuous slate roof. And as the sole vertical accent of the building, its placement here would have helped signal the building from Smawthorne Lane, the main thoroughfare to the N.

This is not the only clever and thrifty aspect of the building. Moving round the exterior, another becomes apparent: the footprint is a neat rectangle, with only a very small step out on the S side to add a little width to the vestries, and the boiler house under the E wall of the vestry. This boiler house was foisted on Nicholson after he had prepared his design, as is apparent from the plan reproduced above. He refused to place it in a basement within the footprint, probably because the church was to be built on a concrete slab and he did not want to breach it in case it introduced damp. Presumably he knew the water table was high. The boiler house is reported always to have been flooded; it is presently in very poor condition.

The treatment is loosely Perpendicular/Tudor but this is a matter of style rather than scholarly re-creation. Construction is of shiny red brick in English bond under a big continuous natural slate roof, the slope of which steepens half way up, ie at the junction of the aisle and the nave. The somewhat relentless effect of the smooth bricks is relieved by stone dressings for the door and window openings and big single-weathered buttresses

Exterior

between the aisle bays and between nave and aisles on the W façade. The fenestration is rational in that each of the windows (except for the vestry S elevation) is made up of lancets with uniform cinquefoil heads. There are single-lighters, twos, threes, fours and a five. All are in square-headed openings except for the chancel and Lady Chapel E windows, which are under four-centred arches of five and three lights respectively. The chancel clerestory provides a playful variation: on the N side it has two windows of three lights towards the E and a single light piercing the bellcote while on the S side the order is reversed such that the single light is to the E.

The principal entrance is via the N door in a shallow integral porch occupying the westernmost bay of the aisle. The portal has a three-step chamfered opening formed in brick, with stone stops and springing for the four-centred arch. Below this is a stone tympanum with blind tracery of mouchettes either side of a quatrefoil roundel. The double-leaf door has full-height panels and simple strap hinges. The west door is similar, except that it has a two-step surround. Other doors are yet plainer.

Summary of significance / any potential issues

A thrifty and rational exercise in a late Gothic style with an unusual variation on the bellcote.

L-M



Interior facing west


Inside, the architect has provided a rather more authentic impression of the English late Gothic. The lofty nave is divided from the aisles by four tall two-centred stone arches with two hollow chamfers. The outer chamfer hollow dies into moulded piers stretching down unbroken to moulded bases; the inner stops at a half-octagonal capital with a half-octagonal shaft below clasped to the piers. The nave has a kingpost roof with arched trusses springing from plain corbels. The tie beam and kingposts are only simply moulded. Above is a timber

Interior







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<p>barrel vault. The roof bays do not relate to the arcade arches, so the corbels, trusses and tie beams are out of step with the arches. In the aisles, the roof is lean-to form with principal resting on corbels and tie-beams at wide intervals. It should here be remembered that the roof form on the exterior is continuous, nave to aisles, except for a slight change of pitch.</p> <p>Elsewhere, the architect has chosen to detail certain elements in the style of different periods, as if to suggest a historic church which has seen alterations. In the chancel, the Perpendicular style gives way to earlier Gothic forms, as if elements of an older church were preserved here. On the N side, an arcade of three low two-centred stone arches looks onto the Lady Chapel, now screened discreetly in Perspex. The arches are moulded but there are no capitals and the bases are only minimally expressed. To the E a simple aumbry recess behind a curtain. The N arcade is answered on the S side except that the easternmost arch is round-headed and blind. Within it are three sedilia, stepped. Next to it is a piscina recess with a cinquefoil head. The other two arches give onto the vestry passage. High up on the chancel walls, N and S, are wrought-iron brackets on which were suspended downlighters in spun brass (now in store). Higher still, the clerestory windows are in deep rectangular reveals framed by arches with traceried spandrels – a rather lavish touch for a feature probably rarely noticed.</p> <p>The easternmost three bays of the S aisle are occupied by the Lady Chapel, screened in recent times with Perspex (two bays of the aisle further W were also screened from the nave but this was dismantled (reportedly having been installed without faculty). The Chapel has a suspended ceiling, rather low. It is enriched with the only stained glass in the church.</p> <p>At the W end of the nave is a gallery for the organ accessed from a stair in the NW corner. The gallery construction, including the square fluted piers it rests on, is oak and has a Georgian-style panelled front. There are fitted cupboards in oak in the area below the gallery. The SW corner has been arranged as a baptistery, with more fitted cupboards, here in pine. The centrally-placed W door is not regularly used.</p> <p>Walls are plastered throughout with stone quoin detailing to openings. The E wall of the nave has been lined in plasterboard or similar as a barrier to damp.</p> <p>The floors are Yorkstone to the aisles with hardwood parquet flooring to the seating areas. The central alley of the nave is carpeted. The floor is raked, with a fall of perhaps a metre from West to East. This may make it difficult to use as an all-purpose area but adds considerably to visibility for the congregation. The sightlines from the aisles are good as well, given the slenderness of the piers and the width of the arches. The acoustic is reported to be very good, such that the priest and readers can be easily heard without amplification.</p>	
<p>Summary of significance / any potential issues</p> <p>An assured use of predominantly late Gothic forms to provide a capacious and convenient church for a large congregation.</p>	L-M






FURNISHINGS AND FITTINGS		
<p>Altar</p> 	<p>In the sanctuary: presumably original (1920s) high altar, dark-stained oak frame with veneered panels of oak and mahogany in a diamond pattern divided by ebonised pilasters with details picked out in red, blue and gold paint (recent enrichment); positioned away from wall for W-facing celebration (physical evidence suggesting that this is not its original position).</p>	L-M



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	<p>In the N aisle chapel: oak, with a deep relief carving of the Lamb and Flag in the central panel, wheat and lilies to the L and a passionflower and the fruiting vine to the R; a good example of a common type, presumably part of the 1920s furnishings; positioned away from wall for W-facing celebration (physical evidence suggesting that this is not its original position). With a pair of freestanding wooden candlesticks.</p>	<p>L-M</p>
	<p>In the S aisle chapel: a simple small oak table, 1920s or later.</p>	<p>L</p>
<p>Pulpit</p> 	<p>On the S pier of the chancel arch: oak, octagonal, with linenfold panels, on a slender moulded shaft and with a simple wooden stair; part of the original furnishings and ensuite with the choirstalls and clergy seats.</p> <p>NB Nicholson's plan shows the pulpit against the N pier of the chancel arch; it was most likely first erected here because the crucifix is still in place</p>	<p>L-M</p>
<p>Lectern</p> 	<p>In the S aisle, E of the baptistery curtain: oak, two bookrests back-to-back forming a triangle, with a traceried roundel at each end, on a moulded stand and base; swivel mechanism.</p>	<p>L-M</p>

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<p>Font</p> 	<p>In the baptistry (occupying the W bay of the S aisle): octagonal simply moulded deep-bowl form on a sturdy octagonal shaft and base, in a hard Yorkshire gritstone; oak cover is also octagonal but ogee-shaped terminating in an octagonal boss from which it is suspended from a purlin on a chain with a pulley system (currently out of use owing to H&S concern, though surely easily repairable). NB Nicholson's original sketch proposal shows the font in the same position at the end of the N aisle</p> <p>At the E end of the nave on the N side: a portable font consisting of a simple circular brass bowl on a wrought-iron stand, 1960s or 1970s.</p>	<p>L-M</p> <p>L</p>
<p>Reredos</p> 	<p>On the Sanctuary wall: The Crucifixion with the two Marys, painted carvings on a part-gilded oak panel; in a late Baroque style. On either side are separate figures in a similar style (but to different scale) depicting, to the N, the Archangel Michael slaying the serpent and, to the S, the Virgin and Child, with a Gothic-style canopy above. The reredos and the figures either side are a relatively recent installation commemorating Jack Schofield, a young parishioner, and given by his family and the local Mothers Union. The original reredos, five panel Gothic-style, is visible in early photographs.</p>	<p>L-M</p>
<p>Seating</p>   	<p>On the S wall of the sanctuary: three stone sedilia under a round arch, stepped to follow the sanctuary steps.</p> <p>In the sanctuary: Clergy chair, in the Tudor style with linenfold backrest; reading desk ensuite but in a more Gothic style, with traceried support of two trefoil-headed arches divided by a slender shaft.</p> <p>In the chancel: Choir stalls with clergy seats ensuite; in a similar style to the separate clergy chair above, the Tudor style with linenfold front and rectangular bench ends with strapwork scrolls and devices (fishes, scales, etc) carved in low relief (decoration also matches pulpit, see above)</p>	<p>L-M</p> <p>L-M</p> <p>L-M</p>







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	<p>Nave and aisles: Church chairs in threes and fours joined by a floor rail screwed to the woodblock floor; all in good order</p>	<p align="center">L</p>
<p>Communion rails</p> 	<p>Three sets: In the chancel: all in oak, in the Jacobean style, solid quality and moveable (illustrated); In the Lady Chapel: as per chancel set; In the S aisle chapel: similar oak top but stand is stained softwood.</p>	<p align="center">L L L</p>
<p>Bells</p> 	<p>In the external bellcote: 3 bells by Mears and Stainbank, 1929 (George Dawson list, under Wakefield diocese, ref 40/230)</p>	<p align="center">L</p>
<p>Organ</p> 	<p>In the W gallery: a pipe organ, 2 manual (CC to A, 58 notes) and pedal (CCC to G, 32 notes) with 16 speaking stops and 3 couplers making a total of 19 registers; by Lewis & Co and Henry Willis & Sons Ltd. Those firms, both good makers, traded under a joint name from 1918-1925 so this was a second-hand instrument when it was installed here in 1935, as is implied by the dedication programme of that year. That document suggests also that the Great had been made by Lewis and the Swell by Willis; electric organ blower; overhaul by J W Walker & Sons, 1966; reported on site to be in working order but the National Pipe Organ register expressed concerns in 2011.</p>	<p align="center">M</p>
<p>Monuments</p>	<p>None.</p>	<p align="center">-</p>
<p>War memorials</p>	<p>None. A memorial commemorating 106 casualties of the First World war was erected at nearby Whitwood Cemetery, Cutsyke Road in 1926, shortly before the church was built.</p>	<p align="center">-</p>
<p>Stained glass</p>	<p>In the Lady Chapel: four stained glass windows</p> <ul style="list-style-type: none"> • E – In the centre light, Christ in Majesty; LHS a 	<p align="center">L-M</p>




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	<p>wheatsheaf; RHS a fruiting vine; all in memory of Sidney Varley, churchwarden, †29/1/39; probably by Pickett of Leeds;</p> <ul style="list-style-type: none"> • N wall, bay 1 (from E) – LHS, Archangel Gabriel, in memory of James and Louisa Hancock; RHS, the Virgin and Child; probably by Pickett of Leeds; • N wall, bay 2 (illustrated) – LHS, Archangel Michael, with RAF badge in his shield, in memory of Cpl Edmund Horler, †17/2/44 (a Japanese PoW); RHS, the Virgin and Child, in memory of Iris Bradley, his sister †7/3/37; signed by Pickett of Leeds; • N wall, bay 3 – LHS, Archangel Raphael, in memory of Tom and Louise Fox Able; RHS, St Thomas Aquinas, signed by Pickett of Leeds. <p>The N wall windows were all installed under a faculty of 1948.</p>	
<p>Communion plate</p> 	<p>In the clergy vestry: four chalices, three with covers, a paten and a box; all silver, hallmarks not examined; presumably commissioned or acquired in or after 1920s but all in a traditional style</p>	<p>L-M</p>
	<p>In the clergy vestry: a silver collection plate, charger style, in a chamois bag.</p> <p>NB the vestry safe was stolen and the back removed; it has been recovered but its security is no doubt now compromised.</p>	<p>L-M</p>
<p>Registers</p>	<p>Not seen.</p>	<p><i>Tbc</i></p>
<p>Miscellanea</p> 	<p>On the E wall of the Lady Chapel: a round majolica Della-Robbia style plaque depicting the Virgin and Child.</p>	<p>L</p>
	<p>In the N aisle: a figurine of the Virgin Mary trampling the serpent, most likely in cast plaster painted in polychrome, 1969</p>	<p>L</p>

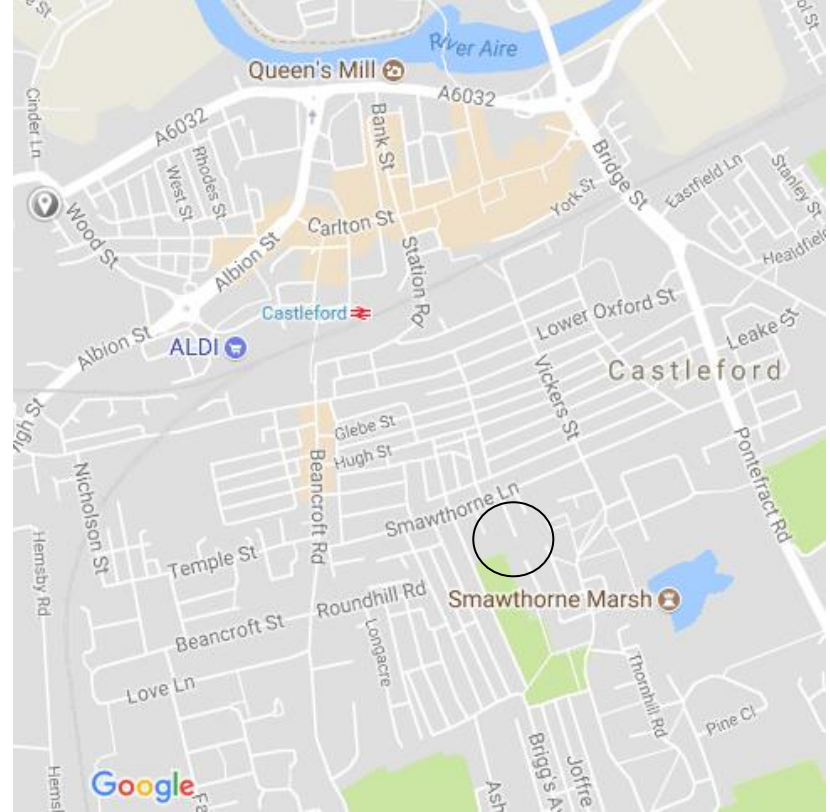




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	<p>In the Lady Chapel and N aisle: two parish banners, both inscribed St Michael, Castleford (not illustrated)</p> <p>In the clergy vestry: a map of the district of St Michael, dated 1924, ie immediately before the establishment of the parish (see below) and the construction of the present church; a map of the pastoral reorganisation of 1961.</p> <p>In store in roof space over choir vestry (not seen): a set of spun brass bell-shaped downlighters (presumably for electric light), the original light fittings for the nave and (?) chancel.</p>	<p>L</p> <p>L</p> <p>L/L-M?</p>
<p>Summary of significance / any potential issues The original furnishings installed 1929 are of decent quality, as is the mid-C20 stained glass in the Lady Chapel.</p>		<p>L-M</p>


<p>LOCATION AND SETTING</p>		
<p>Geographic location</p> <p><i>Map of the area from Google maps</i></p>	<p>Castleford stands immediately S of the confluence of the rivers Aire and Calder in West Yorkshire. The M62 passes the S edge of the town and the A1(M) passes the E edge. The towns of Normanton, Pontefract and Knottingley are each approximately 5km away, and Wakefield and the city of Leeds a little further away.</p> <p>The church is close to the town centre of Castleford, 0.5km to the N and NE. It stands at the end of St Michael's Close which is off Smawthorne Lane, one of the main E-W roads through Castleford, which links with the A656 Pontefract Road.</p>	<p align="center">-</p>



		
<p>Townscape or landscape setting / context</p> 	<p>The immediate setting is a 1960s estate of two-storey houses adjacent to a late Victorian residential suburb of two-storey terraces to the N and W.</p>	<p>L</p>
<p>Churchyard</p> 	<p>The churchyard is a roughly rectangular plot in the midst of 1960s housing. The church occupies approximately one fifth of the churchyard. The detached church hall, a modern single storey structure, stands in the NE corner, almost at right angles to the axis of the church. The NW corner is occupied by the vicarage, with an area of private garden.</p> <p>Boundaries:</p> <ul style="list-style-type: none"> • N (boundary with St Michael's Close): brick walls and metal gates; • W (boundary with vicarage and public open space): brick wall and painted iron railings with privet hedge; • S (boundary with Bland's Close): concrete fencing; • E (boundary with houses in Lisheen Ave): concrete and galvanised with privet, brambles etc. <p>The churchyard is mostly laid to grass. There is tarmac and concrete parking on the E side accessed from a tarmac drive</p>	<p>L</p>

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	<p>leading from St Michael's Close; this is bounded by shrubs. There is a flowering cherry close to the W end of the church (the inspecting architect has advised pruning or removal).</p> <p>The churchyard has never been used for burials as a large cemetery for the town had been established at Healdfield Road in 1857. However, there have in the past been a few interments of cremated remains (a practice since discontinued).</p>	
<p>Access/egress to site</p> 	<p>There is vehicular access from St Michael's Close via a short but rather narrow drive with pairs of metal gates to vicarage and church hall area; from the drive there is separate pedestrian access to the church hall via metal gates in the brick wall.</p> <p>Two bus routes run along Smawthorne Lane, 100m to the N.</p>	<p align="center">L-M</p>
<p>Parking on/off site, street</p>	<p>20+ spaces on the N and E sides of the church and in the vicarage curtilage.</p>	<p align="center">M</p>
<p>Identified risk of flooding</p>	<p>This church is located in flood zone 1, meaning that there is a low probability of flooding in this location.</p>	<p align="center">-</p>
<p>Summary of significance / any potential issues Urban setting with good road connections, parking and nearby bus routes.</p>		<p align="center">L-M</p>

ARCHAEOLOGY, ECOLOGY AND HISTORY		
<p>Archaeology</p>	<p>No assessments or finds recorded.</p>	<p align="center">L</p>
<p>Archaeological implications of alternative use (church/ churchyard/ site) and human remains considerations</p>	<p>The churchyard has some archaeological potential bearing in mind its location near historic industrial and extractive activity; archaeological potential within the footprint is minimal bearing in mind the concrete raft foundation laid in 1927. There are no burials but a few interments of cremated remains and hence some limited human remains considerations.</p>	<p align="center">L</p>
<p>More detailed history incl. historical associations, people & events</p> 	<p>Castleford is an ancient settlement which grew up around the site of the Roman fort and its vicus or civilian town (Lagentium) on the south bank of the River Aire, 600m to the N. It remained a compact town until the C19 when rapid industrial growth led to a population surge. This was based on pottery and glass making and, relatively late, coalmining. This last generated a boom and a number of large collieries were established from the 1860s, at Wheldale (1868), Glasshoughton (the nearest, 1869), Prince of Wales (1872), Fryston (1873), Whitwood (1873) and Allerton Bywater (1875).</p> <p>The area N and W of the church was developed for housing c1895-1905. The area was called Smawthorne Hill and there was one large house NW of the site of the church. With the housing came pastoral need and in 1914 a mission was established by John Davison Bland of Kippax Park, one of the</p>	<p align="center">L-M</p>





local coal magnates, whose family had only 14 years before helped build a new church at Glasshoughton (see *Other churches nearby*). This was dedicated on 12 December 1914 by Cosmo Gordon Lang, no less, the Archbishop of York (later of Canterbury). Local tradition places the mission in the Working Men's Club and Institute in Hugh Street, 200m N (illustrated, left, and just visible on the historic map reproduced below), though twenty years later it was described as a drinking club (souvenir programme for the dedication of the organ). A Sunday School was set up in a house opposite. The sculptor Henry Moore was born (1898) and grew up in Roundhill Road, 300m from the mission church, and would surely have known it during his teenage years.

Bland subsequently gave the site for a new church and 3 acres of land (November 1916) and, on Armistice Day 1918, £10,000 towards its construction. This was generous but short of the sum required. Added to this were the difficulties of the site such that several spots were tried and found wanting, presumably because of the ground conditions. This may explain why the church is set back from the main road and built on a concrete raft foundation. It no doubt also explains the delay in realising Bland's vision. Nevertheless, a new parish of Smawthorne, St Michael, was established in August 1924, and a vicar appointed. Meanwhile, a variety of amenities were established on the land given by Bland: allotments (though only flowers were allowed on the plots near the church), a recreation ground including tennis courts and a bowling green, a community hall providing pottery classes etc, scout hut and outdoor theatre.

In 1926, the services of a major architect were secured. This was *Sir Charles Nicholson* (1867-1949), by then architect to a number of cathedrals and with an extensive practice specialising in ecclesiastical work. His initial sketch is reproduced above and suggests his interest in creating a striking effect on the one façade that would be visible from the main road. The sketch was largely realised in the finished building. Local tradition also suggests that he responded to a brief which called for a church focussed on the Word rather than ritual. He worked with a local architect, *R A Easdale* (1867-1948), presumably the job architect. The contractor was a local firm, Gregory & Son.

Construction was well underway by November 1927 when the cornerstone (illustrated left, along with souvenir programme) was dedicated by the Bishop of Wakefield. He also consecrated the completed church on 20 March 1929, a few months after the death of the benefactor, J D Bland. The ICBS increased their grant to £150 in view of the extra expense of the foundation but the parish was left with a debt of £3,000. In spite of the Depression, this was paid off by 1934.





OS 1932

The new church was lent an organ by the parish of Pontefract which, after only a few years, asked for it back. Within a matter of months, the church commissioned a new instrument from the newly merged firm of Willis and Lewis which was installed in 1935. The organ was dedicated with a grand ceremony and recital, commemorated in a souvenir programme (costing as much as a shilling!) with a charming woodcut and a heavily ironic history of the church.

The open space given by Bland remained until well after the Second World War. New housing was built on much of it in the 1960s/1970s but a long strip remains to the W of the church (the recreation ground along Smawthorne Avenue) and the football ground and allotments off Pine Close may also be part of that original gift. A church hall has also been built within the churchyard.

More recently, pastoral reorganisation has seen the parish reabsorbed within Castleford team parish, continuing the historic association of the area with the ancient church of All Saints. The church is still sometimes referred to as Smawthorne, St Michael, as it was previously.

Ecology incl. designations, protected species, TPO etc.

See photo of W elevation (Image sheet, below) for

National soilscape data indicates the prevailing soil type to be slowly permeable seasonally wet acid loamy and clayey. There is a small mere approx. 200m E of the churchyard.

There are no TPOs. There is one Irish Yew on the N side near the NW door and a flowering cherry near the W door.

L



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<i>photo of cherry tree</i>	The church is in the breeding distribution area for the following bird species recorded by the National Biodiversity Network: curlew, grey partridge, lapwing, redshank, snipe, tree sparrow.	
Summary of significance / any potential issues Modest but not negligible ecological, archaeological and human remains potential.		L

PLANNING AND AMENITY ISSUES	
Local plan	<p><i>Local plan</i></p> <p>Wakefield Council adopted its Core Strategy on 15 April 2009. This will be in place until 2026. The more detailed policies can be found at: http://www.wakefield.gov.uk/residents/planning/policy/local-plan/development-scheme-progress</p> <p>These include the Site Specific Local Policies Plan. The following elements of this are relevant to the church.</p> <p>The former Glasshoughton Colliery site, the edge of which is 800m S of the churchyard, is a major area of development with specific policies in the local plan. Much of it has already been developed and is operational, or has secured significant planning permissions. The nearer portion, to the east of the railway line, includes major completed and committed developments such as a retail outlet centre, the Xscape ski and leisure complex, a DIY superstore and a college of further education. To the west of the railway line, a park and ride railway facility and office developments have been completed. In addition, to the west side of the railway planning permission has been approved in principle subject to section 106 agreement for a community stadium and associated uses and a hotel and offices. The community stadium could potentially accommodate the Castleford Tigers Rugby League Club.</p> <p>There are three large areas allocated for housing nearby, between the railway line and the M62:</p> <ul style="list-style-type: none"> • Land at Flass Lane, Cutsyke (HS22), 1km SW • Flass Lane, Cutsyke (HS23), 1.5km S • Ackton Pastures (HS24), 1.5km SW <p>and another between the town centre and the river Aire:</p> <ul style="list-style-type: none"> • Castleford Riverside (SPA4), 1km NW <p><i>Other planning policies</i></p> <p>The church is in the following:</p> <ul style="list-style-type: none"> • Nitrate Vulnerable Zone (surface water): Aire from River Calder to River Ouse (S274) • White Rose Forest • the outer Impact Risk Zone for three SSSIs: Middletwon Ings, Fairburn Ings and Fairburn and Newton Ings • the West Yorkshire Objective 2 area



OTHER CHURCHES NEARBY

Castleford, All Saints

0.7km NNW, in Castleford town centre.
 Listed grade II; C13 or perhaps earlier origins but rebuilt 1866-8 by *H F Bacon*, incorporating some C15 fabric (and seating) in N aisle; nave, aisles N and S, crossing tower, transepts and chancel with N vestry; stone with slate roof. In a medium-sized churchyard within historic core of town; no longer burials but ashes interments.
 Services: said mass every Sat and Sun, sung mass every Sun, evening prayer Mon-Thurs; the civic church of Castleford. Church only open for services. Kitchenette and parish room, with WC (not accessible) at W end; minimal parking on site; church hall to N of churchyard.
 In the same benefice as Castleford, St Michael and All Angels.



Hightown, All Saints

0.9km W, on the Normanton Road.
 Unlisted; 1864, by *H F Bacon & E I Bell*; nave, SW tower, S aisle, chancel with organ loft to S and vestry to N. In a small churchyard; unburied but ashes interments.
 Services: sung mass every Sun, said mass every Weds, morning prayer Mon-Thurs every other week. Church only open for services. Hall with WC and kitchen immediately adjacent to N side of nave (but without integral access to church).
 In the same benefice as Castleford, St Michael and All Angels.



Glasshoughton, St Paul the Apostle

0.7km SE, Pontefract Rd/Churchfield Lane
 Unlisted; 1900-02, by *Demaine & Brierley*, W extension 1933; chancel, nave and aisles N and S, with SW porch and narthex, Lady Chapel on SE plus vestry beyond; red brick and slate roofs.
 In a medium sized churchyard; unburied but ashes interments.
 Services: sung mass every Sun, said mass every Weds, morning prayer Mon-Thurs every other week. Church only open for services. WC and small kitchen; no hall; some parking on site and street parking.
 In the same benefice as Castleford, St Michael and All Angels.



RECORDS AND REFERENCES

- Archaeology Data Service (<http://archaeologydataservice.ac.uk/>)
- Church Urban Fund (<http://www2.cuf.org.uk/lookup-tool>)
- Environment Agency flood maps (www.environment-agency.gov.uk/homeandleisure/37837.aspx)
- George Dawson's National Bell Register (<http://georgedawson.homestead.com/>) ref 40/230



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- Lambeth Palace Library (<http://images.lambethpalacelibrary.org.uk/luna/servlet>)
- Local authority website (<http://www.wakefield.gov.uk/>) – pages on planning and TPOs
- Multi Agency Geographical Information for the Countryside website (<http://magic.defra.gov.uk/>)
- National Heritage List for England (<http://list.english-heritage.org.uk>)
- National Library of Scotland: historic map images (<http://maps.nls.uk/os/>)
- National Pipe Organ Register (<http://www.npor.org.uk/>) entry SE4225
- Oxford Dictionary of National Biography (<http://www.oxforddnb.com/>, subscription required) – entry on C A Nicholson

- Felstead, A, Franklin, J and Pinfield, L (compilers), *Directory of British Architects 1834-1900* (London, 1993), p275
- Pevsner, Sir N, rev Radcliffe, E – *The Buildings of England: Yorkshire The West Riding* (2nd ed. Harmondsworth, 1969), p158

- QIR – Graham Saxton, August 2015
- Asbestos survey and Energy and Sustainability Audit

The Council's advice is not binding on the DAC or Chancellor and any changes would be subject to the granting of a faculty and consultation.

Compiled by Guy Braithwaite on 29 September – 2 October 2017 after a visit to the site on 5 September 2017.

In the event of closure Part 3 (Statutory Advisory Committee advice on change) will be attached.



IMAGE SHEET



South elevation



North elevation



East elevation



West elevation



Interior view east



Interior view west



High altar



Altar (Lady Chapel)



Altar (S aisle chapel)



Pulpit



Lectern



Font



Reredos



Sedilia



Clergy chair



Choirstalls



Congregational seating: nave N side



Communion rail



Bells



Organ



Stained glass (Lady Chapel)



Communion plate



Plaque (Lady Chapel)



Figurine



Collection plate



Parish map



Townscape setting



Churchyard



Hall



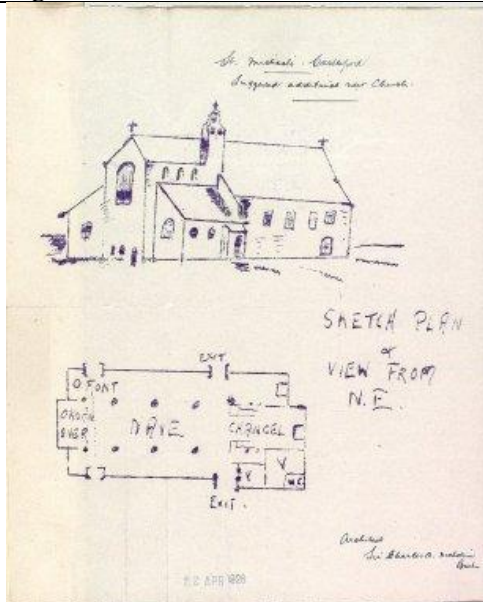
Vehicular access



Working Men's Hall



Cornerstone



Architect's sketch



Commemorative programme

Donald Insall Associates

Chartered Architects and Historic Building Consultants

St Paul's Church, Glasshoughton

Quinquennial Inspection

Inspected by:
Daniel Elkington BArch(Hons) MArch ARB RIBA FHEA
21st July 2023

Previously inspected by:
Graham Saxton BSc (Hons) MRICS (PPIY Architects)
February 2016

Job Number: YSTP.0

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Issue date: September 2023

Checked by: Tom Bromet

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1.00 Introduction

1.01 This report is prepared for use by the PCC and describes features and defects observed as required by the Inspection of Churches Measure. The report must not be used as a specification of work to be carried out and the PCC is required to obtain a Faculty before any work is undertaken with the exception of some minor maintenance items. Guidance on whether particular work is subject to faculty can be obtained from the DAC.

1.02 *Limitations Of The Report*

This report is prepared for use by the Trustees and describes features and defects observed as required by the Inspection of Churches Measure. This is a summary report only, it is not a specification for the execution of the work and must not be used as such.

The inspection of the Church and adjacent buildings is made from ground level and using binoculars, parts of the structure which were inaccessible, enclosed or covered have not been inspected, therefore, it is not possible to report that any such part of the structure is free from defect.

1.03 *Access*

Access for the inspection was provided on the day of the inspection by Eleanor Glennon.

1.04 *General Description*

The Church was built at the beginning of the 20th Century and stands in its own small churchyard at the junction of Pontefract Road and Churchfield Road. Vehicular access is via a gateway from Pontefract Road. The Church has been designed in a neo-classical style with a traditional layout, the main body being the Nave with Chancel set to the East. Porches flank North and South at the West end, however the North door is not used. The main entrance for those visiting for services is via the South Porch. A Vestry and Chapel is set into the SE corner. The West end of the church dominates the site fronting onto Pontefract Road. A bell canopy is located on the Nave gable at high level. It seems likely that building works were interrupted by the Great War as the West of the church was completed at a much later date than the East (a difference in the brick colour can be observed externally indicating the different periods of building works).

The Church is constructed in red brick with limestone mullions, tracery and cills to the openings. The Nave roof is steep double pitched covered in Westmorland slate. The North and South Aisle are of a shallower pitch, the North covered in lead and the South covered in replacement metal sheet roof following the theft of the original lead. The Vestry and Lady Chapel roof is double pitched and is now covered in mineral felt.

1.08 *Previous Works*

Work carried out previously and since the last inspection in 2015-

- Only minor maintenance and repairs have been undertaken although a list was not provided.

1.09 *Maintenance*

Although the Measure requires the church to be inspected by an Architect every five years, it should be realised that serious trouble may develop in between these surveys if minor defects are left unattended.

It is strongly recommended that the churchwardens should make, or cause to be made a careful inspection of the fabric at least once a year and arrange for immediate attentions to such minor matters as displaced slates and leaking pipes.

Gutters, rainwater hoppers and pipes should be cleaned out in the late autumn and summer.

Gullies, soakaways and drains should be cleaned out regularly and the perimeter of the church kept free of vegetation and grass.

Adequate natural ventilation should be maintained in the church to avoid conditions which encourage fungoid and beetle attacks.

It is recommended that the PCC enter into an annual contract with a local builder for carrying out the required maintenance work.

Guidance may be had from the pamphlet 'How to Look After Your Church' *Publisher: Church House Publishing; 3rd Revised edition (1 Jan. 1991) ISBN-10: 0715175610 ISBN-13: 978-0715175613.*

[http://www.churchcare.co.uk/churches/guidance-advice/looking-after-yourchurch.](http://www.churchcare.co.uk/churches/guidance-advice/looking-after-yourchurch)

1.10 *Fire Precautions*

Fire safety rules affecting all non-domestic premises came into effect on 1 October 2006. Under the Fire Regulatory Reform Act the PCC are required to appoint a 'responsible person' to carry out a Fire Risk Assessment, (which includes details for evacuation and the safe removal of valuables and so on).

At least one fire extinguisher of the right type should be provided; there should also be one additional extinguisher of the foam or CO² type where the heating apparatus is oil-fired. (There are three main types and it is essential to have the appropriate one in the appropriate place. Advice should be sought from the Local Authority Fire Prevention Officer).

All fire extinguishers should be checked and inspected annually by a suitably qualified person to ensure they are in good working order. Inspection records/certificates are to be kept in the church log book and on the individual extinguishers

It is noted that fire extinguishers are serviced annually.

1.11 *Electrical Installation*

Any electrical installation should be tested annually if over 5 years old and immediately if not done within the last five years (except as may be recommended in this report) by a registered National Inspection Council for Electrical Installation Contracting (NICEIC) or NAPIT full scope or ECA full competence accredited registered electrician. A resistance and earth continuity test should be obtained on all circuits. In addition any portable electrical items should be PAT tested annually by a registered electrical engineer.

This report is based upon the visual inspection of the main switchboard and of certain sections of the wiring selected at random, without the use of instruments.

It is noted the previous inspection has been undertaken in the last 5 years, however no information has been provided on when the next inspection is due.

1.12 *Heating Installation*

A proper examination and test should be made of the heating apparatus by a qualified engineer each summer before the heating season begins and the report kept with the church log book.

It is noted that twin boilers are located in the Vestry serve the heating installation which comprises steel radiators. The heating system is reported to be inadequate, the sizing of the boilers being more domestic and the type of radiators being inefficient. The PCC is therefore advised to consult the Diocese Heating Advisor for guidance as to how the installation can be improved or replaced in the future. The heating is serviced annually.

1.13 *Lightning Conductor and Protection System*

Any lightning conductor should be tested every quinquennium (in addition to any works which may be recommended in this report) in accordance with current British Standards by a competent electrical engineer and the record of the test results and conditions should be kept with the church log book

It is noted that there is no record of any current test for the installation so one should be commissioned.

1.14 *Bells*

Bells and all related apparatus should be checked annually by a suitably experience specialist.

No information has been provided on the status of the bell, and therefore this should be checked by a specialist.

1.15 *Organ*

An organ specialist should undertake an annual maintenance contract. A technical report on the instrument should be commissioned, particularly when it is of historical or musical interest.

No information has been provided on the status of the Organ, and therefore this should be checked by a specialist.

1.16 *Accessibility*

The Equality Act 2010 states that it is unlawful to discriminate against disabled people in connection with the provision of goods, facilities and services. All churches are required to take all reasonable steps to fulfil these obligations which in practical terms means having suitable access, lighting levels, sound installation and consideration for accessible toilet accommodation.

The degree of compliance with the Act's requirement to provide reasonable adjustments must be balanced against the requirements to protect the historic fabric of the building and to gain Faculty approval. Further advice is contained within the English Heritage publication "Easy Access to Historic Properties", also at www.churchcare.co.uk/legal .

Where it is not possible to fully comply with the recommendations for access, measures to reduce access restrictions should be introduced to the extent that is compatible with protection of the historic fabric.

It is noted that level access into the building is not available. The Vestry entrance door is almost level and this is currently used to provide wheelchair access to the building. There is no hearing loop facility provided to the existing PA system. There is currently no accessible toilet provision and as there is an ambulant toilet provided the building therefore does not comply with the Act. The architect should be asked to advise the PCC with regard to improving the facilities in order that the building complies with the Act.

1.17 *Sustainability*

A Quinquennial Inspection is a good opportunity for the Trustees to reflect on the sustainability of the building and its use. This may include adapting the building to allow greater community use, considering how to increase energy efficiency and considering other environmental issues. Further information is available on the Church Care website.

www.churchofengland.org/more/church-resources/churchcare/advice-andguidance-church-buildings/sharing-your-building

On 12 February 2020 General Synod recognised that we are in a climate emergency and committed to an ambitious carbon reduction target of Net Zero by 2030. The culture is changing fast, both outside and within the Church; questions of sustainability should inform all our buildings-related decisions from now on, and this report highlights opportunities for action. See also the Practical Path to Net Zero Carbon (PPNZC) document in the appendix, and the Sustainability Countdown to 2030 section below.

The Church of England Research and Statistics Team has created an Energy Footprint Tool. This will tell your church what your 'carbon footprint' is, based on the energy you use to heat and light your buildings, and is part of the Online Parish Returns System. You will need to input the data from the most recent year's electricity and gas/oil etc. bills, and the tool will then tell you the amount of carbon produced annually by heating and lighting your church building; it will also offer some helpful tips to reduce your carbon emissions. As you use the tool each year, you will be able to see how your church improves, as you take steps to cut your carbon footprint. Most dioceses now have a Diocesan Environmental Officer in post, who may be able to offer support, including on questions of ecology and biodiversity, and signpost you to further resources.

Sustainability Countdown to 2030: It will be for the PCC to set its priorities for sustainability improvements, and I would encourage you to use the Practical Path to Net Zero Carbon (PPNZC) which can be accessed here –

<https://www.churchofengland.org/about/environment-and-climate-change/net-zero-carbon-routemap>

Donald Insall Associates would also be available to offer advice and guidance on sustainability matters.

- 1.18 *Protected Species*
Churches and their churchyards are an important part of the diverse natural habitat of England and play a critical in protecting species.
- Badgers, bats and dormice are all examples of protected species in Britain. These species – which include a number of animals and some plants - are legally protected under UK and European law. Their presence on site can have significant implications for the timing and success of a planning application, as well as for the timing and delivery of construction work. The most commonly encountered protected species on development sites are Bats, Dormouse, Great crested newts, Badgers, Birds and Reptiles.
- 1.19 *Health & Safety*
Overall responsibility for the health & safety of the church and churchyard lies with the incumbent and the PCC even when a local authority or other organisation might have a maintenance obligation for some or all of the exterior spaces and features. This report may identify areas of risk as part of the inspection but does not equate to a thorough and complete risk assessment by the PCC.
- 1.20 *Asbestos*
The Asbestos Regulations were amended in 2016 and puts a duty on those responsible for public buildings, including churches, have an Asbestos Survey carried out and maintain an Asbestos Register to identify the type and location of Asbestos when present which should be available for any Contractors working on the building.
- Further information is included in the HSE code of practice The Management of Asbestos in Non Domestic Premises L127 and guidance is available at www.churchcare.co.uk/building
- When any construction works are being planned at a preliminary stage an appraisal and investigation into the presence of asbestos should be carried out by an accredited specialist company.
- An asbestos management inspection and report has been undertaken. A copy of the report is attached in the appendix. All action points should be addressed.
- 1.21 *Insurance*
It is of crucial importance that all church buildings be adequately covered by insurance. The PCC is strongly recommended to consult their insurance company or broker for full details and information on variations to the type of cover and any special factors requiring particular consideration.
- 1.22 *Weather Conditions On The Day Of The Inspection*
Overcast (15°C)
- 1.23 *Date of Next Inspection:*
Before July 2028

2.00 Summary and Recommendations

2.01 Church Summary

The Church is generally in acceptable condition, however there are a number of items which should be treated as a priority in order to maintain the current condition.

The inspection was limited in its scope due to a lack of access to areas of roof and it would be beneficial to arrange access to the South and North Aisle roofs for them to be inspected further. There are a number of areas of loose, disturbed or missing slates, which should be attended to.

It is important that routine clearing of debris and vegetation is maintained to ensure rainwater goods can work effectively and help reduce the rate of erosion to stonework and prevent leaks. Renovation and overhauling of the rainwater goods is also a priority to discharge water away from the building.

The glazing is in a poor condition, so priority should also be given to restoring the windows, starting with obtaining a Specialist Glazier report.

Internally there has been use of nonbreathable paints and cementitious render, which are exacerbating issues of water ingress through a lack of breathability. It would be a substantial effort to do though, so enhanced priority should be given to addressing the glazing, roofing and rainwater goods defects.

Given the background of potential closure and subsequent redevelopment or demolition, we would strongly advise against the latter. While works are required to the building, a carefully considered programme of works can be considered to arrest prime causes of decay to ensure either continued use as a place of worship if there is demand or to provide a platform for the building to be creatively reused. In either case we would recommend the involvement of a conservation architect to help develop any future proposals.

2.02 Priorities

Against this background, the following programme of works is recommended for the forthcoming 5-year period.

All items for action are given the following prefix and colour coded in the margin of the report which indicates the level of urgency and the time frame under which the works should be programmed.

A Urgent requiring immediate action

B Requires attention within 12 months

C Requires attention within 12-24 months

D Requires attention within 5 years

E Desirable improvement with no time period

M Routine maintenance item which can be actioned without faculty permission.

Obs Keep under observation and report any significant changes to the Architect.

2.03 *Costings*

This report is not a neither a specification for works nor a costing, although rough initial estimates of cost are given in line with CBC guidance. The following cost bandings are used -

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

VAT and professional fees are not included in these estimates. The current VAT rate for maintenance works is 20%.

2.04 *Future Projects*

This report can be taken by a Quantity Surveyor to produce an accurate cost report for any future project. Savings can be made by groups works into packages where savings can be made by the economies of scale and for site set up costs and access arrangements such as scaffolding.

Donald Insall Associates would be happy to discuss any future projects arising from this report.

3.00 Inspection Report

3.1 Exterior

3.1.1 Roofs + Rainwater Goods

B Nave and Chancel, South Slope
Due to the design and surround context, it has been difficult to inspect the area of roof above the South Porch and where the Nave roof meets the South Aisle roof and it is advisable to get safe high level access arranged for a further inspection.



1

C There are open joints to the ridge, which should be repointed to prevent water ingress.



2

B There are some loose and displaced slates, particularly to the West end, which should be refixed in position. A number of slates have been replaced using Welsh slates and it would be preferable if these could be replaced using Westmorland slates when the roofer is on site.






1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




B	There is an area of displaced and missing slates around the ridge and verge to the East end, adjacent to the cross. These should be refixed and missing slates replaced.		1
C	On the East gable, there is no edge detail or cover which could be a potential entry route for insect or bird nesting. When high level access is available it would be advisable to review this detail.		2
C	The fascias boards on the East gable of the Chancel require decoration.		1

Priorities

A	Urgent requiring immediate action
B	<i>Requires attention within 12 months</i>
C	<i>Requires attention within 12-24 months</i>
D	<i>Requires attention within 5 years</i>
E	<i>Desirable improvement with no time period</i>
<i>M</i>	<i>Maintenance item</i>
<i>Obs</i>	<i>Keep under observation</i>

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
A	Gutters should be cleared seasonally as part of an ongoing maintenance strategy.		1
B	Nave and Chancel, North Slope Due to the design and surround context, it has been difficult to inspect large areas of the North facing roofs. It is advisable to get safe high level access arranged for a further inspection.		1
C	There is an area of displaced and missing slates around the ridge and verge to the East end, adjacent to the cross. These should be refixed and missing slates replaced.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
B	As noted in the previous QI, there are numerous open joints and vegetation growth from the chimney. In conjunction with providing access to other areas of the roof, it would be advisable to inspect this area further.		2
A	Gutters should be cleared seasonally as part of an ongoing maintenance strategy.		1
B	South Aisle Roof It was not possible to inspect this due to lack of access, but the previous QI noted various defects with the apron flashings and a lead upstand, which should be checked when high level access is provided.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
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4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
D	The cast iron downpipes would benefit from renovation including re-caulking of seals. A number of downpipes are missing stand-off bobbins which should be replaced when renovations go ahead.		2
B	North Aisle Roof It was not possible to inspect this due to lack of access combined with the design and surrounding site. It is advisable to get safe high level access arranged for a further inspection.		1
D	Vestry and Lady Chapel Roof The duo pitched roof has been covered in mineral felt due to previous lead theft. The current roof covering is in acceptable condition but consideration should be given towards replacing in a more appropriate material such as zinc or stainless steel.		3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
B	The valley gutter where the Vestry abuts the Chancel is susceptible to blocking up due to the number of trees on the site and the position of the existing downpipe from the Chancel. Debris should be cleaned seasonally as part of an ongoing maintenance strategy, and the downpipe arrangement should be altered to minimise future risk to the valley.		2
B	The North elevation gutter to the Vestry Lady Chapel is of inadequate size to cope with the water run-off from the Chancel and the Vestry roof where the pipe discharges into the gutter. Either a large hopper should be added here or a wider gutter should be installed.		1
D	The fascia boards to the East gable require decorating.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

A Gutters should be cleared seasonally as part of an ongoing maintenance strategy.



1

3.1.2 Walls, Windows + Doors

C South Elevation
There are some open joints to the buttress to the West of the South porch, which should be repointed.



1

B There is vegetation growth to the coping stones of the South porch, which should be removed and open joints to the stones should be repointed in lime mortar.



1

Priorities

A	Urgent requiring immediate action
B	<i>Requires attention within 12 months</i>
C	<i>Requires attention within 12-24 months</i>
D	<i>Requires attention within 5 years</i>
E	<i>Desirable improvement with no time period</i>
<i>M</i>	<i>Maintenance item</i>
<i>Obs</i>	<i>Keep under observation</i>

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B

There is high levels of brick salting, particularly to the doorway arch of the South porch. This is caused by water ingress through the porous masonry of the South porch coping stones. The salts should be brushed off and consideration should be given to re-bedding the copings on a lead DPC.



2

C

There are some recessed joints and broken brickwork where a light fitting was installed to the South Porch, with the broken bricks replaced and recessed joints pointed with lime mortar.



1

B

The condition of the windows on the South elevation generally is poor, with numerous glass quarries being replaced with fibreglass as they have been broken. The fibreglass replacements have not all been fixed and sealed into the windows and there is risk that water can penetrate into the building. There are also numerous cracked or broken glass quarries which should be replaced in matching glass to the original windows. The glazing bars are also in poor condition and require redecoration, along with the putty being in a poor state. It would be beneficial to undertake a full overhaul of all the windows on this elevation.



3

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B

In particular, there are missing glass panes to the Eastern window on the South Aisle, which is a potential source of water ingress into the building, and these should be replaced but should be considered as part of a wider overhaul of the windows.



1

D

The cast iron ventilation grilles to this elevation are rusting and require re-decoration.



1

B

The cast iron downpipes require an overhaul, as they have started to rust. They should be fully redecorated with joints resealed and mounted on new bobbins with secure fixings.






2

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
A	Each of the gulleys are severely blocked with some having high levels of vegetation growth. Vegetation should be removed and gulleys unblocked.		1
C	There is a step fracture running from the head of the Western most window through into the brick oversail. This corresponds to a crack internally. Allow for stitch repairing the crack and repointed in lime mortar, and the repair kept under observation for signs of further movement, subject to structural engineer's review.		2
C	There is an area of failed pointing to the South Aisle where it meets the Lady Chapel, which should be raked out and repointed in lime mortar.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
D	To the uPVC windows of the Lady Chapel, the silicone has started to split and this should be resealed. This could be caused by the adjacent step fracture moving the window stones and stretching the silicone.		1
C	There is displacement to the Lady Chapel window surround stones. Allowance should be made for the stones to be reset and repointed with helical bar repair, with the repairs kept under observation for signs of further movement, subject to structural engineer's confirmation.		2
D	The door to the Vestry corridor is in acceptable condition but should be redecorated as part of a maintenance strategy.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
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Costings

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6	£250,000+

Priority	Description	Photograph	Costing Band
B	The plastic downpipe to the Vestry South West corner is broken at the bottom, lacks a shoe, does not appear to discharge into any gully and is spilling onto the plinth. A new shoe should be installed extending into the gully.		1
C	South Aisle, East Elevation As noted in the previous inspection, there is open jointing to the stone sill of the window should be repointed using lime mortar.		2
D	The timber and chicken wire guarding to the window is in poor condition and should be replaced, ideally with a powder coated stainless steel guarding inset into the windows would be preferable.		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C There are some open joints to the brickwork above the mineral felt flashings, which should be repointed, or included as works to the Vestry/Lady Chapel roof.



2

B Similarly to other elevations, The condition of the window is poor, with numerous glass quarries being replaced with fibreglass as they have been broken. The fibreglass replacements have not all been fixed and sealed into the windows and there is risk that water can penetrate into the building. There are also numerous cracked or broken glass quarries which should be replaced in matching glass to the original windows. The glazing bars are also in poor condition and require redecoration, along with the putty being in a poor state. It would be beneficial to undertake a full overhaul of the window.



3

C Chancel, South Elevation Details match that of the other elevations with 2-light single window, some open jointing around the window to the brickwork which should be repointed in lime mortar.



2

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

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3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D The timber and chicken wire guarding to the window is in poor condition and should be replaced, ideally with a powder coated stainless steel inset into the windows would be preferable.



2

B Similarly to other elevations, The condition of the window is poor, with numerous glass quarries being replaced with fibreglass as they have been broken. The fibreglass replacements have not all been fixed and sealed into the windows and there is risk that water can penetrate into the building. There are also numerous cracked or broken glass quarries which should be replaced in matching glass to the original windows. The glazing bars are also in poor condition and require redecoration, along with the putty being in a poor state. It would be beneficial to undertake a full overhaul of the window.



3

D Vestry, East Elevation
The window protection is loose and has been fixed using a combination of screws and silicon, the silicon has bled directly onto the mullions and tracery stonework. One of the fixings has split a mullion stone which should be repaired. The Perspex should be replaced with a stainless steel guarding as described elsewhere.






2

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
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M	Maintenance item
Obs	Keep under observation

Costings

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6	£250,000+




Priority	Description	Photograph	Costing Band
C	There is an open joint to the window sill which should be repointed in a lime mortar.		1
C	There is a horizontal fracture that progresses to a step fracture, running from the window sill through to the plinth. Allowance should be made for the fracture to be repointed in lime mortar and helical bar stitched, with the repair kept under observation for signs of further movement, subject to confirmation by structural engineer.		1
C	Vestry, North Elevation Previously mentioned fracture extends onto this elevation, see previous item.		1

Priorities

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	B Requires attention within 12 months
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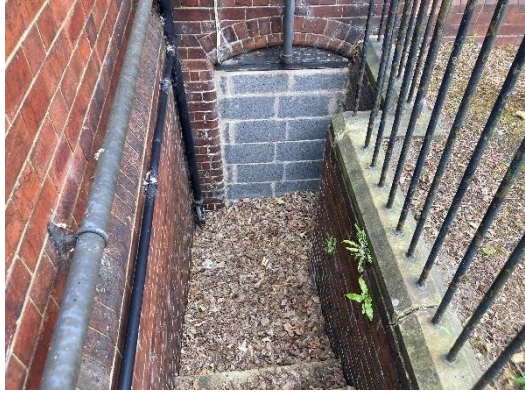
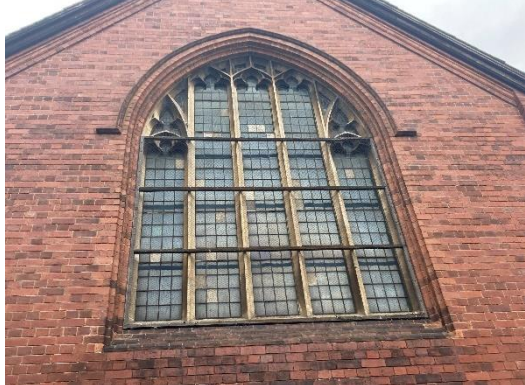
Priority	Description	Photograph	Costing Band
C	Chancel, East Elevation There is an area of recessed pointing where the Chancel abuts the Vestry, which should be repointed.		1
D	The railings to the boiler house steps require redecoration.		1
C	The boiler house steps have accumulated debris to the lower steps, which should be cleared.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
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M	Maintenance item
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Priority	Description	Photograph	Costing Band
C	There is vegetation growth to the retaining wall of the boiler house steps, which should be removed and any recessed joints repointed.		1
C	The boiler house entrance opening has been blocked up preventing access, it would be beneficial to gain access to determine the condition of this space and whether it is having a detrimental affect on other areas of the building.		1
D	The timber and chicken wire guarding to the window is in poor condition and should be replaced, ideally with a stainless steel power coated inset into the windows would be preferable.		3

Priorities

A	Urgent requiring immediate action
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4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B Similarly to other elevations, The condition of the window is poor, with numerous glass quarries being replaced with fibreglass as they have been broken. The fibreglass replacements have not all been fixed and sealed into the windows and there is risk that water can penetrate into the building. There are also numerous cracked or broken glass quarries which should be replaced in matching glass to the original windows. The glazing bars are also in poor condition and require redecoration, along with the putty being in a poor state. It would be beneficial to undertake a full overhaul of the window.



3

C The cornerstone of the building is starting to erode in areas, caused by surrounding masonry being pointed in a cementitious mortar. This should be removed and area repointed in lime mortar.



1

E North Elevation
Beneath each of the windows is an area of recessing pointing and brick infill (presumably to infill previous ventilation grilles). The later brick infill should be removed and replaced with matching brickwork to the church, along with the area of recessed joints being repointed in lime mortar.



2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
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4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B The condition of the windows generally is poor, with numerous glass quarries being replaced with fibreglass as they have been broken. The fibreglass replacements have not all been fixed and sealed into the windows and there is risk that water can penetrate into the building. There are also numerous cracked or broken glass quarries which should be replaced in matching glass to the original windows. The glazing bars are also in poor condition and require redecoration, along with the putty being in a poor state. It would be beneficial to undertake a full overhaul of all the windows on this elevation.



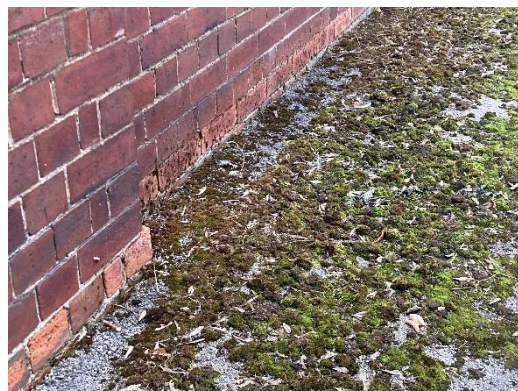
3

D The cast iron ventilation grilles to this elevation are rusting and require re-decoration



1

C There is brick decay and spalling to the low level brickwork, which is being exacerbated by the asphalt laid around the base of the building. A section of asphalt should be removed and a gravel margin installed, along with decayed brickwork replaced.






2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
B	The cast iron downpipes require an overhaul, as they have started to rust. They should be fully redecorated with joints resealed and mounted on new bobbins with secure fixings.		2
A	Each of the gulleys are severely blocked with some having high levels of vegetation growth. Vegetation should be removed and gullies unblocked.		1
C	There is a step fracture running from the head of the Western most window through into the brick oversail. This corresponds to a crack internally. Allowance should be made for the crack to be stitch repaired and repointed in lime mortar, and the repair kept under observation for signs of further movement, subject to review and confirmation by structural engineer.		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
C	There are numerous open joints to the steps of the North porch which should be repointed.		1
E	While the North porch is no longer in use for entry, consideration should be given to installing handrails to the steps in case of future use.		2
B	There is vegetation growth to the coping stones of the North porch, which should be removed and open joints to the stones should be repointed in lime mortar.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
B	There is high levels of brick salting, particularly to the doorway arch of the North porch. This is caused by water ingress through the porous masonry of the North porch coping stones. The salts should be brushed off and consideration should be given to re-bedding the copings on a lead DPC.		2
C	There are some recessed joints and broken brickwork where a light fitting was installed to the North Porch, with the broken bricks replaced and recessed joints pointed with lime mortar.		1
C	There is also some missing and fractured pointing to the right hand side of the North porch arch, which should be repointed.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D The entrance doors to the North porch would benefit from being redecorated.



1

C There is some recessed joints to the pointing of the Western most buttress, which should be repointed.



2

B West Elevation
To the Northern most window, the glazing bars and framing is in poor condition and should be overhauled, with the openers made functional to assist with natural ventilation within the building.



3

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B The small trefoil window on the West gable of the North Aisle (to the Store internally), has numerous glass quarries being replaced with fibreglass as they have been broken. The fibreglass replacements have not all been fixed and sealed into the windows and there is risk that water can penetrate into the building. There are also numerous cracked or broken glass quarries which should be replaced in matching glass to the original windows. The glazing bars are also in poor condition and require redecoration, along with the putty being in a poor state. It would be beneficial to undertake a full overhaul of all the windows on this elevation.



2

C There is brick decay and spalling to the low level brickwork, which is being exacerbated by the asphalt laid around the base of the building. A section of asphalt should be removed and a gravel margin installed, to assist with moisture management.



2

B There are open joints to the coping stones of the North Aisle coping stones, which should be repointed. There are numerous areas of water ingress at high level internally, and it would be beneficial to re-bed these coping stones on a lead DPC.



2

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C

There is some recessed joints below the Northern buttress coping stones, which should be repointed.



2

D

The bell although working, appears to be stuck at an angle. A bell specialist should be consulted for advice.



1

C

There appear to be a number of dislodged or missing slates at the eaves of the bell canopy.






Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
E	There also appears to be nesting birds near the bell and canopy, indicated by the guano on the wall and arch hood moulding. Consideration could be given to introducing bird deterrents if persistent problem.		2
D	There is a redundant electrical conduit which should be removed.		1
C	To the central window at low level, the security glazing is broken and should be replaced. As part of this the frames and glazing bars should be redecorated and re-puttied.		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

A

The shoe to the Southern downpipe is loose and angled towards the building, which should be refixed as soon as possible to prevent water ingress into the building.



1

B

More generally, the cast iron downpipes require an overhaul, as they have started to rust. They should be fully redecorated with joints resealed and mounted on new bobbins with secure fixings.



2

B

The small trefoil window on the West gable of the South Aisle (to the toilet internally), has numerous glass quarries being replaced with fibreglass as they have been broken. The fibreglass replacements have not all been fixed and sealed into the windows and there is risk that water can penetrate into the building. There are also numerous cracked or broken glass quarries which should be replaced in matching glass to the original windows. The glazing bars are also in poor condition and require redecoration, along with the putty being in a poor state. It would be beneficial to undertake a full overhaul of all the windows on this elevation.



2

Priorities

A	Urgent requiring immediate action
B	<i>Requires attention within 12 months</i>
C	<i>Requires attention within 12-24 months</i>
D	<i>Requires attention within 5 years</i>
E	<i>Desirable improvement with no time period</i>
<i>M</i>	<i>Maintenance item</i>
<i>Obs</i>	<i>Keep under observation</i>

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B There are leaks to the toilet SVP, which has caused algae growth and salting to the brickwork below. The leak should be fixed and the algae/salts be removed. The SVP should be redecorated as part of a wider maintenance strategy.



1

B There are open joints to the coping stones of the South Aisle coping stones, which should be repointed. There are numerous areas of water ingress at high level internally, and it would be beneficial to re-bed these coping stones on a lead DPC.



2

A The hopper to the South is full of bird nests and debris, which should be cleared.



1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
B	To the same hopper, there are recessed joints to the pointing, which should be repointed in lime mortar.		2
D	There is some remanence of paint on the masonry, which should be removed.		1
3.2	Interior		
B	<p>Nave</p> <p>There is some water staining to the painted spandrel on the South arcade. This could be historic, due to previous lead thefts, although it could be linked to the South aisle upstand. This was not able to be inspected due to lack of access so it would be advisable to inspect this area further when high level access is provided.</p>		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Obs The spandrel panels have been painted in a non-breathable paint. While not ideal in this location, the condition should be kept under observation for signs of flaking and decay.



D The carpet has staining in areas, which should be either cleaned, removed or replaced.



1

C There are some loose sections of parquet flooring which should be refixed to eliminate trip hazards.



1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
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6	£250,000+

C

The front pew to the South is loose and causing the surround carpet, tie bar and parquet flooring to lift. The pew should be refixed with areas posing as trip hazards re-laid level and secured.



1

D

North Aisle and North East Chapel
There is some failing paintwork, particularly towards the East of the North wall and below the first window from the East. The walls have been rendered in a cementitious plaster, which has been decorated in a non-breathable material. This should all be removed and replastered in lime to prevent moisture from becoming trapped.



3

Obs

Slight decay to base of column, which should be kept under observation to determine rate of deterioration.



Priorities

	A	Urgent requiring immediate action
	B	Requires attention within 12 months
	C	Requires attention within 12-24 months
	D	Requires attention within 5 years
	E	Desirable improvement with no time period
	<i>M</i>	Maintenance item
	<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C

Loose carpet to pew entrances with missing transition strips causing a trip hazard.



1

E

The kitchen to the rear of the North Aisle would benefit from a scheme of modernisation. The kickboards are loose and should be refixed.



3

Obs

South Aisle and South East Chapel
As highlighted in the previous QI, there is some staining to the boarding as a result of the lead covering being stolen a number of years ago. This cannot be addressed without redecoration.



Priorities

A

Urgent requiring immediate action

B

Requires attention within 12 months

C

Requires attention within 12-24 months

D

Requires attention within 5 years

E

Desirable improvement with no time period

M

Maintenance item

Obs

Keep under observation

Costings

1 £0-1,999




2 £2,000-9,999

3 £10,000-29,999

4 £30,000-£49,999

5 £50,000-249,999

6 £250,000+




Priority	Description	Photograph	Costing Band
D	There are areas of failed plasterwork to the South Aisle/Narthex junction. This has been caused by water ingress and exacerbated by non-breathable paint finishes. Ideally the existing wall finishes should be removed, any deteriorated plaster replastered and the wall redecorated in a breathable finish.		3
D	Further areas of failing paint finish, see above for remedial works.		3
D	Further areas of failing paint finish, see above for remedial works.		3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
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4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
C	Crack in plaster corresponding with step fracture externally. External crack should be stitched repaired with the interior replastered, and kept under observation for signs of further movement.		2
C	Loose carpet to pew entrance with missing transition strips causing a trip hazard.		1
B	There has been a history of problems with vandals breaking the plain glass and numerous quarries have been replaced using an alternative material which, when new, will have been transparent but now has become opaque and striated. There are also many other broken glass quarries which should require replacement. It would make desirable when the broken quarries are replaced, that the glazier be asked to replace the old repairs in glass matching the original.		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
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6	£250,000+

C

Chancel and Sanctuary

There is evidence of damp ingress to the recess and to the South East corner at 2m height likely due to water ingress from the valley gutter formed at the junction with this wall and the Vestry. Once the arrangement externally has been improved this should dry out and can be repainted with a breathable paint.



2

D

Loose chancel step stones should be re-bedded with marked carpet cleaned, replaced or removed.



2

Obs

Lady Chapel

The room appears to have been redecorated since the last inspection.



Priorities

A

Urgent requiring immediate action

B

Requires attention within 12 months

C

Requires attention within 12-24 months

D

Requires attention within 5 years

E

Desirable improvement with no time period

M

Maintenance item

Obs

Keep under observation

Costings

1

£0-1,999

2

£2,000-9,999

3

£10,000-29,999

4

£30,000-£49,999

5

£50,000-249,999

6

£250,000+

Obs Redundant gas pipes in West wall.



C The fractures mentioned externally at the window surround stones. External defects should be addressed before filling and redecorating internally. Repairs should be kept under observation for further signs of movement.



1

D Vestry Lobby
Keep plate is missing from the Vestry door; a new one should be fitted and the woodwork around re-stained.



1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
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6	£250,000+

Priority	Description	Photograph	Costing Band
E	<p>Vestry</p> <p>As noted in the previous inspection, the worktop and sink are in serviceable condition although would benefit from modernisation.</p>		2
C	<p>A fracture observed on the external wall to the East elevation and North elevation corner is replicated internally. Repair external crack and keep under observation</p>		1
C	<p>Open joints to window sill stones should be repointed.</p>		1

Priorities

	A	Urgent requiring immediate action
	B	Requires attention within 12 months
	C	Requires attention within 12-24 months
	D	Requires attention within 5 years
	E	Desirable improvement with no time period
	M	Maintenance item
	Obs	Keep under observation

Costings

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6	£250,000+

B

There is some concern with the amount of moisture getting in at the Vestry valley junction on the North wall that dry rot may break out within the block flooring. A swift rectification of the defect would help to stop this occurring.



2

D

South Porch
There is some flaking to the paintwork to the West wall which would benefit from redecoration with a breathable paint.



1

Obs

There is some deterioration to the quoin stonework to the opening to the stair, almost certainly due to water penetration as a result of debris collecting over the Porch. Rectify external defect and keep under observation.






Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
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6	£250,000+

Priority	Description	Photograph	Costing Band
D	A similar problem is affecting the wall plaster to the East of the door within the new cupboard. Once the defect has been rectified to the roof over the Porch the stone can be dressed back and the damaged plaster renewed and redecorated after drying out.		2
B	The doormat is worn within its surround, and the raised edges of the stones are causing a trip hazard. A new mat should be installed on a raised substrate to eliminate trip hazard.		1
E	North Porch/Kitchen The kitchen would benefit from a scheme of modernisation.		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B

Loose transition strip between carpet and vinyl now acting as a trip hazard. This should be replaced.



1

Obs

Narthex

A Narthex has been created by dividing the central section from the Nave with a uPVC double glazed curtain wall with double doors centrally located. All in satisfactory condition.



E

Toilet

The toilet and sink installation would benefit from a scheme of modernisation.



2

Priorities



M

Obs

Urgent requiring immediate action

Requires attention within 12 months

Requires attention within 12-24 months

Requires attention within 5 years

Desirable improvement with no time period

Maintenance item

Keep under observation

Costings

1 £0-1,999

2 £2,000-9,999

3 £10,000-29,999

4 £30,000-£49,999

5 £50,000-249,999

6 £250,000+

C There are tears and splits to the vinyl, which should be replaced.



1

C Salting to the brickwork in the toilet cupboard. External defects in this area should be addressed (tarmac, open joints etc), and the salts brushed off. These works should be monitored for signs of further brick salts.



1

Obs Narthex Store
Close inspection was difficult due to objects being stored, but all appeared satisfactory.



Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
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6	£250,000+

C

North Organ Loft
Floor is covered with carpet samples which are now becoming dislodged and are becoming a trip hazard. Replace with one piece of carpet or remove leaving bare boarding.



1

B

Evidence of water penetration at high level. The previous QI notes this may be due to a blocked sump or valley gutter. Further high level access is required for investigation.



1

B

As noted elsewhere, the glazing bars are in poor condition and require refurbishment.






1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
D	<p>Central Organ Loft Substantial pipe organ by Abbott and Smith of Leeds. The last inspection reports the organ is in working order, however it should be appraised by an Organ specialist.</p>		1
B	<p>South Organ Loft Evidence of water penetration at high level. The previous QI notes this may be due to a blocked sump or valley gutter. Further high level access is required for investigation.</p>		1
B	<p>None of the ventilators are working and it would be beneficial to the condition of the fabric if some of these ventilators could be brought back into working order; which could be done in conjunction with other glazing works.</p>		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
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6	£250,000+

3.3 Exterior Spaces/ Churchyard

B A number of shrubs are growing against the South Aisle wall, whilst attractive, this can hold moisture in the soil against the building. There is no indication that this is causing any damage at the moment, so the situation can be monitored for the present.



1

D The fence to the North boundary looks in poor condition and could be replaced. This area is also overgrown and vegetation should be cleared as part of any works. If the fence comes under the responsibility of the church then this could replaced.



2

C The Church Noticeboard is in poor condition requiring some repair to the timbers and would benefit from repainting.






1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
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5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
C	There is open pointing to the boundary wall, along with step fractures originating in the coping stones. The wall would benefit from being repointed in lime mortar, with all vegetation removed and fractures helical bar repaired.		2
D	The vehicular gates to the North would benefit from the vegetation being removed and the gates repainted.		1
D	The tarmac to the North of the site is becoming pitted and requires patching. It would be beneficial to replace this hardstanding with a porous covering, or SUDS.		3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention within 12-24 months
D	Requires attention within 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D Open joints and poor brick repointing to wall abutting the Vestry, which should be repointed in lime mortar.



1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention within 12-24 months
	D Requires attention within 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
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4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

4.00 Executive Summary

4.01 The key issues for the PCC to action include:-

- Attend to missing, slipped and broken slates
- Attend to various external repointing works
- Provide access for further areas of roof inspection
- Address the issues to the Vestry back gutter and Chancel downpipe
- Clean out debris & vegetation from all rainwater goods, clearing all gulleys
- Attend to window defects
- Bring some ventilators back into use
- Attend to window guarding defects
- Renovate and paint cast iron rainwater goods
- Remove vegetation and rebed coping stones to parapets
- Replace missing transition strips to carpets.
- Clear shrubs to base of building, particularly on the South elevation

5.00 **Maintenance Checklist**

Completed

Yr1 Yr2 Yr3 Yr4 Yr5

Continually – After Rainfall

Look at the gutters and roofs as you walk around the building, especially during or after rain, and see where water runs, leaks or overflows

Inspect walls internally and externally for areas of saturation

Act quickly to repair any leaks to prevent damage to walls and ceilings

Seasonally – After Snowfall

Clear snow from vulnerable areas.

Check any temperature discrepancies and correct operation of heating appliances.

If the Church is not in use for several days in frost conditions ensure that the frost thermostat is operating and that the heating is brought on at a low level and ventilation provided so that the structure does not become chilled with a risk of condensation.

Biannually

After leaf fall, clean gutters again to ensure full capacity for Winter and snow drainage.

Check for any bird entry or roosting and block or fit mesh to any opening at risk

Annually

Remove any ivy, elder or sycamore saplings growing near walls and poison remaining roots.

Spray around wall bases, steps and paving joints to discourage weed growth.

Look out for any signs of beetle or worm infestation near exposed timbers, alerting cleaners to report any unusual piles of wood dust or clean holes on woodwork.

Keep weed growth in check, clean out all gutters, adjust falls, and repair joints and brackets.

After heating season arrange annual service, to be completed before the next heating season and leave tested and commissioned.

Inspect roofs with binoculars to check number of slipped or broken slates for repair before Winter.

Open manhole covers and hose or swill away any deposits, or rod any potential blockages. Clean cover rebates and set in grease.

Administrative

Check and reassess level of Insurance cover to ensure adequate reinstatement in the event of mishap. It is also important to advise the Insurers of any major works which may increase the risk, and of any Contracts where cover has to be maintained by the Church, singly or in joint names.

Inspect boundaries, gates, paths and steps for condition and for aspects of public liability.

Make a full visual inspection referring to the building survey reports for Annual Meetings. Call the author of any report if in doubt.

Check inventory and update Log Book

Donald Insall Associates
Chartered Architects and Historic Building Consultants

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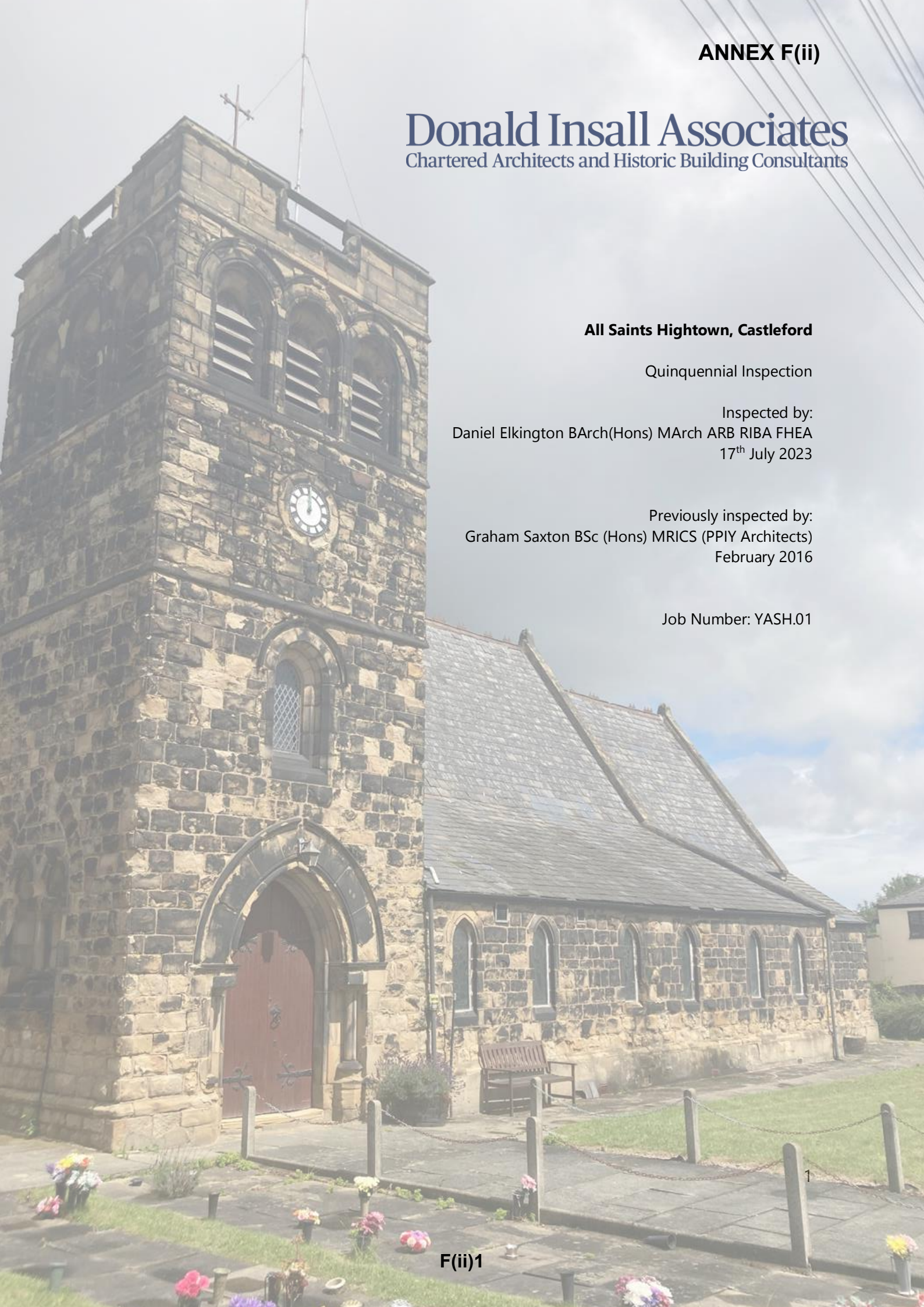
All Saints Hightown, Castleford

Quinquennial Inspection

Inspected by:
Daniel Elkington BArch(Hons) MArch ARB RIBA FHEA
17th July 2023

Previously inspected by:
Graham Saxton BSc (Hons) MRICS (PPIY Architects)
February 2016

Job Number: YASH.01



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Issue date: Sept 2023
Checked by: Tom Bromet

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1.00 Introduction

1.01 This report is prepared for use by the PCC and describes features and defects observed as required by the Inspection of Churches Measure. The report must not be used as a specification of work to be carried out and the PCC is required to obtain a Faculty before any work is undertaken with the exception of some minor maintenance items. Guidance on whether particular work is subject to faculty can be obtained from the DAC.

1.02 *Limitations Of The Report*

This report is prepared for use by the Trustees and describes features and defects observed as required by the Inspection of Churches Measure. This is a summary report only, it is not a specification for the execution of the work and must not be used as such.

The inspection of the Church and adjacent buildings is made from ground level and using binoculars, parts of the structure which were inaccessible, enclosed or covered have not been inspected, therefore, it is not possible to report that any such part of the structure is free from defect.

1.03 *Access*

Access for the inspection was provided on the day of the inspection by Eleanor Glennon.

1.04 *General Description*

All Saints Church, Hightown, Castleford was built in 1864. The architect is unknown but may have been Easedale of Castleford. It was constructed following the collapse of the tower to the Parish Church. The land was gifted by the Earl of Mexborough along with the coal underneath, so that it couldn't be mined in the future. The bells were salvaged from the Parish Church and now hang in the Bell Tower. The Hall adjacent to the Church was built in 1990. The church is not Listed but the bells are locally Listed.

The Church and Hall stands in a small Church Yard with the main highway to the South. There are grassed areas to the South East and North and a small area for cremated remains to the South, adjacent to the main entrance. Gates for vehicular access are located in the South West corner and a pedestrian path is centrally aligned with the main entrance. Tarmac drive to the West with parking area. Concrete to paved paths leading from the South pedestrian gate and leading around the whole Church to the Church Hall to the East and to the Church Hall at the West. Ramped access to the Church Hall with handrails.

1.08 *Previous Works*

Work carried out previously and since the last inspection in 2016-

- No record of previous works has been kept.

1.09 *Maintenance*

Although the Measure requires the church to be inspected by an Architect every five years, it should be realised that serious trouble may develop in between these surveys if minor defects are left unattended.

It is strongly recommended that the churchwardens should make, or cause to be made a careful inspection of the fabric at least once a year and arrange for immediate attentions to such minor matters as displaced slates and leaking pipes.

Gutters, rainwater hoppers and pipes should be cleaned out in the late autumn and summer.

Gullies, soakaways and drains should be cleaned out regularly and the perimeter of the church kept free of vegetation and grass.

Adequate natural ventilation should be maintained in the church to avoid conditions which encourage fungoid and beetle attacks.

It is recommended that the PCC enter into an annual contract with a local builder for carrying out the required maintenance work.

Guidance may be had from the pamphlet 'How to Look After Your Church' *Publisher: Church House Publishing; 3rd Revised edition (1 Jan. 1991) ISBN-10: 0715175610 ISBN-13: 978-0715175613.*

<http://www.churchcare.co.uk/churches/guidance-advice/looking-after-yourchurch>.

1.10 *Fire Precautions*

Fire safety rules affecting all non-domestic premises came into effect on 1 October 2006. Under the Fire Regulatory Reform Act the PCC are required to appoint a 'responsible person' to carry out a Fire Risk Assessment, (which includes details for evacuation and the safe removal of valuables and so on).

At least one fire extinguisher of the right type should be provided; there should also be one additional extinguisher of the foam or CO² type where the heating apparatus is oil-fired. (There are three main types and it is essential to have the appropriate one in the appropriate place. Advice should be sought from the Local Authority Fire Prevention Officer).

All fire extinguishers should be checked and inspected annually by a suitably qualified person to ensure they are in good working order. Inspection records/certificates are to be kept in the church log book and on the individual extinguishers

It is noted the testing was completed in March 2023.

1.11 *Electrical Installation*

Any electrical installation should be tested annually if over 5 years old and immediately if not done within the last five years (except as may be recommended in this report) by a registered National Inspection Council for Electrical Installation Contracting (NICEIC) or NAPIT full scope or ECA full competence accredited registered electrician. A resistance and earth continuity test should be obtained on all circuits. In addition any portable electrical items should be PAT tested annually by a registered electrical engineer.

This report is based upon the visual inspection of the main switchboard and of certain sections of the wiring selected at random, without the use of instruments.

It is noted the testing is due to take place and advised that this is in hand.

1.12 *Heating Installation*

A proper examination and test should be made of the heating apparatus by a qualified engineer each summer before the heating season begins and the report kept with the church log book.

It is noted the Church testing was completed two in July and awaiting certificate. The Hall due in October.

1.13 *Lightning Conductor and Protection System*

Any lightning conductor should be tested every quinquennium (in addition to any works which may be recommended in this report) in accordance with current British Standards by a competent electrical engineer and the record of the test results and conditions should be kept with the church log book

It is noted the testing is due to take place and advised that this is in hand

1.14 *Bells*

Bells and all related apparatus should be checked annually by a suitably experience specialist.

No information has been provided about the current bells.

1.15 *Organ*

An organ specialist should undertake an annual maintenance contract. A technical report on the instrument should be commissioned, particularly when it is of historical or musical interest.

No information has been provided about the Organ.

1.16 *Accessibility*

The Equality Act 2010 states that it is unlawful to discriminate against disabled people in connection with the provision of goods, facilities and services. All churches are required to take all reasonable steps to fulfil these obligations which in practical terms means having suitable access, lighting levels, sound installation and consideration for accessible toilet accommodation.

The degree of compliance with the Act's requirement to provide reasonable adjustments must be balanced against the requirements to protect the historic fabric of the building and to gain Faculty approval. Further advice is contained within the English Heritage publication "Easy Access to Historic Properties", also at www.churchcare.co.uk/legal . Where it is not possible to fully comply with the recommendations for access, measures to reduce access restrictions should be introduced to the extent that is compatible with protection of the historic fabric.

It is noted that a ramp is present to the Hall, although there is stepped access to the Church. Consideration should be given to improving access to the building if it is to continue as a place of worship. There are no accessible toilet facilities in the Church or Hall.

1.17 *Sustainability*

A Quinquennial Inspection is a good opportunity for the Trustees to reflect on the sustainability of the building and its use. This may include adapting the building to allow greater community use, considering how to increase energy efficiency and considering other environmental issues. Further information is available on the Church Care website.

www.churchofengland.org/more/church-resources/churchcare/advice-andguidance-church-buildings/sharing-your-building

On 12 February 2020 General Synod recognised that we are in a climate emergency and committed to an ambitious carbon reduction target of Net Zero by 2030. The culture is changing fast, both outside and within the Church; questions of sustainability should inform all our buildings-related decisions from now on, and this report highlights opportunities for action. See also the Practical Path to Net Zero Carbon (PPNZC) document in the appendix, and the Sustainability Countdown to 2030 section below.

The Church of England Research and Statistics Team has created an Energy Footprint Tool. This will tell your church what your 'carbon footprint' is, based on the energy you use to heat and light your buildings, and is part of the Online Parish Returns System. You will need to input the data from the most recent year's electricity and gas/oil etc. bills, and the tool will then tell you the amount of carbon produced annually by heating and lighting your church building; it will also offer some helpful tips to reduce your carbon emissions. As you use the tool each year, you will be able to see how your church improves, as you take steps to cut your carbon footprint. Most dioceses now have a Diocesan Environmental Officer in post, who may be able to offer support, including on questions of ecology and biodiversity, and signpost you to further resources.

Sustainability Countdown to 2030: It will be for the PCC to set its priorities for sustainability improvements, and I would encourage you to use the Practical Path to Net Zero Carbon (PPNZC) which can be accessed here –

<https://www.churchofengland.org/about/environment-and-climate-change/net-zero-carbon-routemap>

Donald Insall Associates would also be available to offer advice and guidance on sustainability matters.

1.18 *Protected Species*

Churches and their churchyards are an important part of the diverse natural habitat of England and play a critical in protecting species.

Badgers, bats and dormice are all examples of protected species in Britain. These species – which include a number of animals and some plants - are legally protected under UK and European law. Their presence on site can have significant implications for the timing and success of a planning application, as well as for the timing and delivery of construction work. The most commonly encountered protected species on development sites are Bats, Dormouse, Great crested newts, Badgers, Birds and Reptiles.

- 1.19 *Health & Safety*
Overall responsibility for the health & safety of the church and churchyard lies with the incumbent and the PCC even when a local authority or other organisation might have a maintenance obligation for some or all of the exterior spaces and features. This report may identify areas of risk as part of the inspection but does not equate to a thorough and complete risk assessment by the PCC.
- 1.20 *Asbestos*
The Asbestos Regulations were amended in 2016 and puts a duty on those responsible for public buildings, including churches, have an Asbestos Survey carried out and maintain an Asbestos Register to identify the type and location of Asbestos when present which should be available for any Contractors working on the building.
- Further information is included in the HSE code of practice The Management of Asbestos in Non Domestic Premises L127 and guidance is available at www.churchcare.co.uk/building
- When any construction works are being planned at a preliminary stage an appraisal and investigation into the presence of asbestos should be carried out by an accredited specialist company.
- It is understood that a previous Asbestos Survey undertaken in 2012 has found no asbestos within the building.
- 1.21 *Insurance*
It is of crucial importance that all church buildings be adequately covered by insurance. The PCC is strongly recommended to consult their insurance company or broker for full details and information on variations to the type of cover and any special factors requiring particular consideration.
- 1.22 *Weather Conditions On The Day Of The Inspection*
Overcast with spells of heavy and light rain throughout inspection (17°C)
- 1.23 *Date of Next Inspection before:*
July 2028

2.00 Summary and Recommendations

2.01 *Church Summary*

The church is in poor condition owing to widespread issues of cementitious mortars, renders and internal plaster which is trapping moisture and causing the accelerated decay of the stonework. If the original fabric is to be prevented from further decay, a programme of stonework repairs, replacements and repointing is highly advised as the building does appear to have decayed significantly since the last inspection.

The tower parapet stonework remains a concern, with large cracks and timber bracing remaining. This should be addressed with a rebuilding project.

There are also areas of slipped and missing slates, ridge and verge pointing which should be addressed.

There are areas of vegetation growth the Tower/Nave valley and gulleys which should be cleared to prevent further water ingress into the building.

The windows are also in poor condition, with widespread breakages and cracking.

From the last inspection it appears that a number of rooms, particularly the Nave and Entrance porch have deteriorated further, due to trapped moisture caused by non-harmonious materials. The widespread removal of internal renders is advised and replastering internally with lime plaster is required.

The Hall is in a functional condition, although it is dated and would benefit from a scheme of modernisation.

Given the background of potential closure and subsequent redevelopment or demolition, we would strongly advise against the latter. While works are required to the building, a carefully considered programme of works can be considered to arrest prime causes of decay to ensure either continued use as a place of worship if there is demand or to provide a platform for the building to be creatively reused.

We would recommend this from a sustainability perspective, but also from the heritage value that the building brings to the locality.

2.02 *Priorities*

Against this background, the following programme of works is recommended for the forthcoming 5-year period.

All items for action are given the following prefix and colour coded in the margin of the report which indicates the level of urgency and the time frame under which the works should be programmed.

A Urgent requiring immediate action

B Requires attention within 12 months

C Requires attention within 12-24 months

D Requires attention within 5 years

E Desirable improvement with no time period

M Routine maintenance item which can be actioned without faculty permission.

Obs Keep under observation and report any significant changes to the Architect.

2.03 *Costings*

This report is not a neither a specification for works nor a costing, although rough initial estimates of cost are given in line with CBC guidance. The following cost bandings are used -

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

VAT and professional fees are not included in these estimates. The current VAT rate for maintenance works is 20%.

2.04 *Future Projects*

This report can be taken by a Quantity Surveyor to produce an accurate cost report for any future project. Savings can be made by groups works into packages where savings can be made by the economies of scale and for site set up costs and access arrangements such as scaffolding.

Donald Insall Associates would be happy to discuss any future projects arising from this report.

3.00 Inspection Report

3.1 Exterior

3.1.1 Roofs + Rainwater Goods

C Church, Tower Roof
 Inspection of the roof was made difficult by the rooflight which did not give sufficient access onto the roof itself. An openable roof light or roof hatch should be installed to enable future inspections and access for regular maintenance.



1

A There is debris and vegetation growth building up in the gutters which should be cleared seasonally as part of a maintenance programme.



1




Obs From internal inspection of the roof from the roof void that does not appear to be any leaks.

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
B	There are numerous open and cracked mortar joints to the crenelated parapet stonework which should be repointed in lime mortar.		4
B	There is some stone erosion and decay generally to the parapet stonework. This may be caused by the exposed nature of the stonework but also due to the cementitious mortar has been used. Given the external cracking (covered under the elevations section of this report), the parapet stonework should be full rebuilt in lime mortar.		4
B	Timbers have been used to provide edge protection to the crenelations. Consideration should be given to installing a longer term solution, possibly as part of a rebuild of the parapet.		4

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
C	<p>Nave South Slope and South Aisle Roof</p> <p>There are frequent slipped and missing slates to the double pitched and cat-slide roof, which should be refixed or replaced.</p>		2
D	<p>There has also been damage to the decorative ridge tiles and they should be replaced.</p>		1
C	<p>There are some open joints and missing mortar to the ridge which should be fully repointed.</p>		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
C	The coping stones to the east of the South aisle have raised edges and cracked or missing mortar to the joints. They should be fully re-bedded on a lead DPC to prevent further water ingress at high level into the Nave.		3
C	The coping stones to the east of the South Nave look in acceptable condition, although the mortar joints are recessed. They should also be fully re-bedded onto a lead DPC to assist with waterproofing the Nave.		3
D	The rainwater goods are later UPVC replacement which has lost some of its original colouring should be replaced for an aesthetic improvement. All the gutters and downpipes are of an inadequate size for the size of the roofs and should be changed for larger format and preferably replaced in cast iron or aluminium.		2

Priorities

	A	Urgent requiring immediate action
	B	Requires attention within 12 months
	C	Requires attention with 12-24 months
	D	Requires attention with 5 years
	E	Desirable improvement with no time period
	<i>M</i>	Maintenance item
	<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
C	<p>Chancel South Slope and Organ Chamber Roof</p> <p>There are isolated slipped and missing slates which should be re-fixed or replaced. It should be noted that there are numerous replacement slates to the roof, which could indicate a poor quality of slate or poor fixings. Given the water ingress internally consideration could be given to re-roofing. As part of these discussions the installation of roof insulation should be also considered.</p>		2
D	<p>Similarly to the South aisle and nave roofs, there are some damaged or missing decorative ridge tiles, which should be replaced.</p>		1
C	<p>There is some open joints and missing mortar to the Ridge which should be fully repointed.</p>		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C There are some recessed and open joints to the coping stones on the East end of the Chancel. They should be repointed with consideration given to re-bedding on a lead DPC.



3

D Chancel North Slope
Vegetation growth to the chimney stack from the vestry which should be removed. It was not possible to determine the condition of the flaunching from a ground level inspection. However given the algae growth and vegetation to the chimney it is assumed that this is in poor condition.



2

C There are frequent slipped and missing slates to the double pitched and cat-slide roof, which should be refixed or replaced.






2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

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2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+



Priority	Description	Photograph	Costing Band
D	There is also been damage to the decorative ridge tiles and they should be replaced.		1
C	There are some open joints and missing mortar to the ridge which should be fully repointed.		1
C	The coping stones to the east of the North Nave look in acceptable condition, although the mortar joints are recessed. They should also be fully re-bedded onto a lead DPC to assist with waterproofing the Nave.		3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

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2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
D	The rainwater goods are later UPVC replacement which has lost some of its original colouring should be replaced for an aesthetic improvement. All the gutters and downpipes are of an inadequate size for the size of the roofs and should be changed for larger format and preferably replaced in cast iron or aluminium.		2
A	Nave North Slope There is a section of missing guttering to the north elevation, where water is discharging down the face of the building and onto the infill extension between the church and the whole. This should be replaced urgently.		1
C	Due to a lack of access onto the tower roof and surround buildings, it was not possible to inspect the North slope of the Nave. Given the condition of the South slope, it is assumed that the North slope is in a similar condition, and the same actions should be taken as the South slope		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

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5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
C	North East Vestry Minor areas of moss buildup which should be cleared as part of a annual maintenance strategy		1
D	The timber fascia has areas of failed and flaking paintwork and requires redecoration.		1
D	Hall The pyramidal roof is generally in satisfactory condition with isolated chipped edges to slates which should be replaced.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
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6	£250,000+

Obs There has been some later repairs to the hip tile pointing, as the original pointing has begun to crack and fail. The condition should be monitored further with a review to repointing.



B The flat roof is in poor condition and causing excessive water ingress the northwest elevation of the hall. The roof should be replaced.



3

Obs Cupboard Storage Roof
There is a felted flat roof between the church and hall which was difficult to access during the inspection. There is a build up of Moss on the flat roof which should be cleared seasonally.



Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
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6	£250,000+

D The felt appears to be in poor condition, although there were no leaks to the storage cupboards immediately beneath. The condition should be monitored for signs of water ingress with consideration given to replacing the roof.



2

3.1.2 Walls, Windows + Doors

B South Aisle, South Elevation
There has been some decay to the decorative stonework around the South door which has been caused by cementitious mortar. The existing mortar should be removed and the elevation repointed with lime mortar. A programme of stonework repairs and replacements is also advised.



3

B A cementitious mortar has been used to repoint the elevation, which is causing accelerated decay of the stonework. It will be a large outlay but to arrest further stone decay it would be beneficial to remove the pointing and repoint in lime mortar.



5

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
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6	£250,000+

B

There is a cementitious render applied to the plinth the elevation which is causing further stone decay due to trapping moisture beneath. The render should be carefully removed and the plinth repointed in lime mortar. Allowance should be made for replacing some of the plinth stonework, although the extent is difficult to foresee.



3

C

The cast iron ventilation grills within the wall have become rusty, they should be re-decorated.



1

C

The windows have been all pointed with putty and cement mortar, both of which are failing and coming away allowing water to ingress into the building. The window should be repointed with burnt sand mastic.





2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
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6	£250,000+




C	<p>More widely, the security glazing to the windows is cracked or broken and would benefit from full replacement.</p>		3
D	<p>The South door is generally in acceptable condition, with some minor areas of paint decay to the door and brackets. This should be decorated as part of a wider the maintenance strategy.</p>		1
A	<p>Gulleys are full of vegetation, which should be cleared as part of a wider maintenance plan. If problems persist, a below ground CCTV drainage survey should be commissioned to determine any non-visible defects which may be contributing to vegetation growth.</p>		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+



Priority	Description	Photograph	Costing Band
B	<p>South Aisle East Elevation and Nave East Gable</p> <p>The cementitious rendered plinth continues from the previous elevation. The render should be carefully removed and the plinth repointed in lime mortar. Allowance should be made for replacing some of the plinth stonework, although the extent is difficult to foresee.</p>		3
C	<p>There is some cracked verge pointing which should be replaced.</p>		1
B	<p>Stonework decay, particularly at high level, caused by combination of cementitious mortar and water ingress. The existing mortar should be removed and elevation repointed with lime mortar.</p>		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
B	Cementitious mortar has been used on the elevation generally, as per other elevations, which should be removed to arrest accelerated decay of the stonework.		5
C	A particular area of decay is affecting stonework around the Organ window surround. The decayed stone should be removed and replaced with matching material.		1
B	Chancel South Elevation As highlighted on other elevations, a cementitious mortar has been used to repoint the elevation, which is causing accelerated decay of the stonework. To arrest further stone decay it would be beneficial to remove the pointing and repoint in lime mortar.		3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
B	Evidence of masonry bee infestation to pointing, which appears to be a softer gypsum based pointing. Affected pointing should be removed, and area repointed in lime mortar, which could be undertaken with other pointing works.		1
B	The cementitious rendered plinth continues from other elevations. The render should be carefully removed and the plinth repointed in lime mortar. Allowance should be made for replacing some of the plinth stonework, although the extent is difficult to foresee.		3
A	Gulleys are full of debris which should be cleared as part of a wider maintenance plan.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B

Chancel East Elevation

As highlighted on other elevations, a cementitious mortar has been used to repoint the elevation, which is causing accelerated decay of the stonework. To arrest further stone decay it would be beneficial to remove the pointing and repoint in lime mortar. Cement render below forcing water out through stone courses above.



3

B

The cementitious rendered plinth continues from other elevations. The render should be carefully removed and the plinth repointed in lime mortar. Allowance should be made for replacing some of the plinth stonework, although the extent is difficult to foresee.



3

C

More widely, The security glazing to the windows is cracked or broken and would benefit from full replacement. As part of this replacement, the windows should be repointed with burnt sand mastic.






3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+



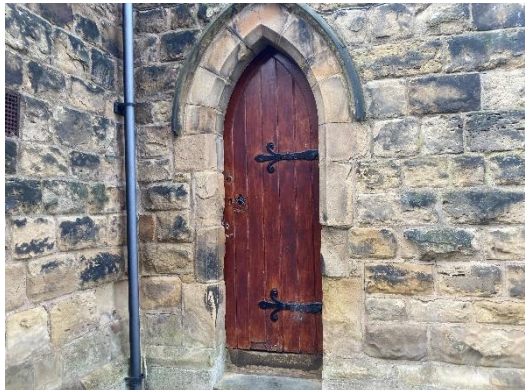
<p>C</p>	<p>The cast iron ventilation grills within the wall have become rusty, they should be re-decorated.</p>		<p>1</p>
<p>C</p>	<p>Particular areas of stone decay to highlight are at high level beneath the coping stones. Re-bedding of the coping stones on a lead DPC would be advisable to arrest water ingress, alongside repointing the stonework in lime mortar.</p>		<p>3</p>
<p>C</p>	<p>Chancel North Elevation There is some particularly friable stonework on the north elevation of the Chancel. The loose material should be removed and remedied as part of a wider project of repointing and stonework replacement.</p>		<p>1</p>

Priorities

<p>A</p>	<p>Urgent requiring immediate action</p>
<p>B</p>	<p>Requires attention within 12 months</p>
<p>C</p>	<p>Requires attention with 12-24 months</p>
<p>D</p>	<p>Requires attention with 5 years</p>
<p>E</p>	<p>Desirable improvement with no time period</p>
<p><i>M</i></p>	<p>Maintenance item</p>
<p><i>Obs</i></p>	<p>Keep under observation</p>

Costings

<p>1</p>	<p>£0-1,999</p>
<p>2</p>	<p>£2,000-9,999</p>
<p>3</p>	<p>£10,000-29,999</p>
<p>4</p>	<p>£30,000-£49,999</p>
<p>5</p>	<p>£50,000-249,999</p>
<p>6</p>	<p>£250,000+</p>

Priority	Description	Photograph	Costing Band
B	The cementitious rendered plinth continues from other elevations. The render should be carefully removed and the plinth repointed in lime mortar. Allowance should be made for replacing some of the plinth stonework, although the extent is difficult to foresee.		3
C	Vestry East Elevation There is some cracked verge pointing which requires repointing, with an area of decayed stonework at high level which should be replaced in matching stone.		1
B	The elevation suffers with the same defects as the other elevations, such as the cementitious mortar and plinth, although the decay of the stonework is too a lesser extent than elsewhere in the building. A repointing in lime mortar with a programme of stonework repairs should be undertaken, as recommended for other elevations.		3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D There is a minor area of decayed timber to the bottom of the door with a new section of timber spliced in. The door and brackets would also benefit from decoration.



1

B Vestry North Elevation
Same as the previous section with stonework in slightly better condition, this could be down to better sheltering from the weather. The plinth has also not been rendered as highlighted elsewhere.



3

B A cementitious mortar has been used to repoint the elevation, as highlighted elsewhere.
While stone decay is slower on this elevation than elsewhere, it would be beneficial to remove the existing pointing and repoint in lime mortar.






3

Priorities

A	Urgent requiring immediate action
B	<i>Requires attention within 12 months</i>
C	<i>Requires attention with 12-24 months</i>
D	<i>Requires attention with 5 years</i>
E	<i>Desirable improvement with no time period</i>
<i>M</i>	<i>Maintenance item</i>
<i>Obs</i>	<i>Keep under observation</i>

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
C	More widely, The security glazing to the windows is cracked or broken and would benefit from full replacement. As part of this replacement, the windows should be repointed with burnt sand mastic.		3
B	North East Vestry West Elevation As highlighted on other elevations, a cementitious mortar has been used to repoint the elevation, which is causing accelerated decay of the stonework. To arrest further stone decay it would be beneficial to remove the pointing and repoint in lime mortar.		2
C	There is some cracked verge pointing which requires repointing, with an area of decayed stonework at high level which should be replaced in matching stone.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B

Boiler Access Steps

There was generally a large amount of vegetation, debris and general litter in this area which made inspection difficult. This should all be cleared and maintained annually.



1

Obs

It is reported in the previous QI that the Boiler House is sealed off and not currently used; asbestos has also been highlighted in this area, which should be highlighted in the asbestos report.

Obs

North Nave Elevation

The north elevation is largely obscured from view by the close proximity of the church hall, which made inspection difficult.

It is assumed same defects as other elevations, although possibly in better condition due to the protection given by the Church Hall.



C

There are some recessed joints to the visible buttress abutting the Vestry. These should be repointed in conjunction with other pointing works.






1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
B	<p>West Nave Elevation</p> <p>A cementitious mortar has been used to repoint the elevation, which is causing accelerated decay of the stonework. It will be a large outlay but to arrest further stone decay it would be beneficial to remove the pointing and repoint in lime mortar. The trapped moisture within the wall is also causing salting which should be brushed off.</p>		3
A	<p>There are particular areas of very friable stonework to the window sill which poses a health and safety risk. The loose material should be removed as a priority.</p>		1
C	<p>More widely, The security glazing to the windows is cracked or broken and would benefit from full replacement. As part of this replacement, the windows should be repointed with burnt sand mastic.</p>		3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
B	There are further areas of friable stonework to the window surround stones. It would be beneficial for the whole of this elevation to undergo a programme of stonework repairs, replacements and pointing.		3
C	The cast iron ventilation grills within the wall have become rusty, they should be re-decorated.		1
A	Vegetation growth to the coping stone and valley between the South Nave slope and the north elevation of the tower, which should be removed. Inspection of this valley was not possible due to lack of access to the tower roof. However it is assumed that this is in poor condition given the ventilation growth and the corresponding water ingress to the nave internally.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B There is a further area of stone decay to note, beneath the South Nave/Tower valley. As previously recommended, a programme of stonework repairs, replacements and pointing is recommended.



3

B Tower West Elevation
As noted in the previous QI, the parapet stonework should be rebuilt. There are some large cracks to the stonework above the tower windows which should be addressed as a priority. A structural report and further investigation is recommended to determine the cause.



3

B Tower South Elevation
Similar comments apply to the parapet stonework on the South elevation, although it appears that the large cracks on the South elevation had been filled poorly with a cementitious or gypsum based mortar. A structural report and further investigation is recommended to determine the cause of movement.



3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B

Tower East Elevation
Matches those of the other elevations and similar comments apply with regard to rebuilding the parapet stonework to address movement. Structural investigation is advised.



3

B

Tower North Elevation
The North Elevation of the Tower was difficult to inspect closely due to the proximity of the Church Hall which obscures it from view. Viewing from the tower roof was also not possible due to lack of safe access onto the roof.
Although it is assumed that the parapet stonework is in a similar condition to the other elevations.

3

C

Hall East Elevation
The lower pane of one of the windows has been smashed and currently boarded up, with the broken glass replaced.



1

Priorities

	A	Urgent requiring immediate action
	B	Requires attention within 12 months
	C	Requires attention with 12-24 months
	D	Requires attention with 5 years
	E	Desirable improvement with no time period
	<i>M</i>	Maintenance item
	<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C

The paintwork to the door has started to fail and peel, particularly on the low level weather bar. The door set and corresponding glazing should be redecorated.



1

D

For the steps in their current configuration hand rails should be installed to both sides and the stair steps are unequal in height which causes a trip hazard. It would be beneficial to have these steps rebuilt.



2

A

The downpipe does not extend into the gully beneath and rainwater is allowed to discharge against the block wall which is causing some minor algae growth. A shoe should be installed to extend the downpipe into the gully, with plinth blockwork cleaned.



1

Priorities

	A	Urgent requiring immediate action
	B	Requires attention within 12 months
	C	Requires attention with 12-24 months
	D	Requires attention with 5 years
	E	Desirable improvement with no time period
	<i>M</i>	Maintenance item
	<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
D	There is some minor algae growth to the concrete render which should be cleaned off and render re-decorated.		1
C	North Elevation The paintwork to the windows has started to fail and peel, particularly on the sills; these should be redecorated.		1
D	The paintwork to the render has failed, and the whole elevation should be redecorated.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
D	The gas meter box is in poor condition and should be replaced.		1
D	North West Elevation The paintwork to the render has failed, and the whole elevation should be redecorated.		1
C	The paintwork to the windows has started to fail and peel, particularly on the sills; these should be redecorated.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
D	The paintwork to the render has failed, and the whole elevation should be redecorated.		1
D	For the steps in their current configuration hand rails should be installed to both sides and the stair steps are unequal in height which causes a trip hazard. It would be beneficial to have these steps rebuilt with a handrail installed.		1
D	West Elevation The paintwork generally to the timber boarded canopy has started to fail and peel; which should be redecorated.		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
D	The paintwork generally to the door set, glazing and timber clad columns has started to fail and peel; which should be redecorated.		2
D	The paintwork generally to the ramp handrails has started to fail and peel; which should be redecorated.		1
3.2	<i>Interior</i>		
B	Tower Access Floor Inspection of the roof was made difficult by the rooflight which did not give sufficient access onto the roof itself. An openable roof light or roof hatch should be installed to enable future inspections and access for regular maintenance.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D Rusting to the cross anchor point and plate, which should be redecorated.



1

D The space is generally dirty, and would benefit from cleaning to promote regular access and maintenance to the space and roof.



1

Obs The roof is not membraned and there are areas of daylight visible through the slating, although there does not appear to be any water ingress. This should be kept under observation.






Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
B	Belfry Room The ladder up to the tower roof is loose and requires re fixing.		1
C	There is particular stone erosion and open joints around the clock light which should be cleared of any debris and openings consolidated with lime mortar		1
C	Access into the belfry through the floor hatch is tight and difficult. Consideration could be given to improving access through a wider opening and more handrails.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Obs Timber solid bell frame supporting 3 bells rung in good order with no sign of beetle attack. Bells made by Hayward Mills of Nottingham and recently overhauled prior to the last QI, reported to have come from All Saints Parish Church.



B Ringing Room and Clock Room
There is failed paintwork and brick efflorescence to a section on the north wall. This corresponds approximately to where the valley is, and addressing the issues with this valley should be the priority. The salting should be brushed off the wall and area kept under observation



1

C Entrance Porch
Mould forming on painted boarded ceiling which should be cleaned off an area kept under observation.






1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention with 12-24 months
	D Requires attention with 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
B	Metal access ladder to ringing room is loose and requires refixing and strengthening.		1
C	The walls to the entrance porch have all been rendered in a cementitious render painted with a non-breathable finish. This is exacerbating damp issues which are now widespread within the space. The render should be fully removed back to sound masonry and the area fully replastered in lime.		2
C	There are a number of open joints to the stone flagged floor which should be repointed in lime mortar.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B

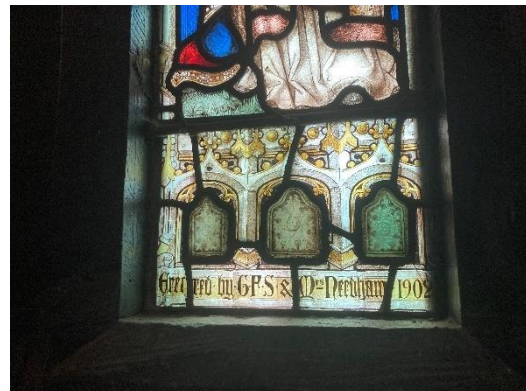
The current plastic backed entrance mats within the space are allowing damp to form beneath them. They should be removed and/or replaced with a breathable carpet.



1

C

The saddle bars to the stained glass windows are rusting and should be re-decorated. The copper ties to the glass are intact and in acceptable condition.



1

B

Nave
There is a small gap between the sarking boards and daylight is visible. This should be rectified by addressing the roofing defects described earlier.



2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
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5	£50,000-249,999
6	£250,000+

C

There are widespread areas of damp and patched plaster repairs, some of which correspond with external defects. The use of cementitious rendering and plasters internally is widespread exacerbating damp issues. While a large capital outlay, it is advised that all internal plaster to the Nave is removed and replastered in lime.



3



Obs

There are areas of recently plastering to the Chancel arch which correspond with areas of high level water ingress through the coping stones and East Nave gable. These areas should be kept under observation for signs of future water ingress.



Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C

The saddle bars to the stained glass windows are rusting and should be re-decorated. The copper ties to the glass are intact and in acceptable condition.



1

C

To the suspended flags down the aisle, there is two that are broken and rocking in position which could be reset with broken flags replaced.



1

Obs

Despite the widespread damp at low and high levels, the decorative stonework to the columns and corbels are in very good, crisp condition.



Priorities

A	Urgent requiring immediate action
B	<i>Requires attention within 12 months</i>
C	<i>Requires attention with 12-24 months</i>
D	<i>Requires attention with 5 years</i>
E	<i>Desirable improvement with no time period</i>
<i>M</i>	<i>Maintenance item</i>
<i>Obs</i>	<i>Keep under observation</i>

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Obs Monuments (Nave)
The stone Thomas William Ball memorial to the West Wall is in good condition.
The Walter Hepworth, brass on wood, monument is also in good condition.
Plaque to the Great War in good order.
The memorials to George Bakr and Captain Wormald are also in good condition.



B South Aisle
There is stone decay to the window surround stones and the stones sill of these South aisle window. This issue has been exacerbated by cementitious render and non-breathable decorative finishes. The render and paint finish should be fully removed an area inspected for further decay.



1

C Use of cementitious rendering and plasters internally continues and is exacerbating damp issues. While a large capital outlay, it is advised that all internal plaster to the South Aisle is removed and replastered in lime.



2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C

Boiler/Heating Room
Area of plasterwork decay to the wall of abutting the tower with brick salt starting to come through. The plaster work on the remaining walls is in a poor condition and the room should be stripped back to sound masonry and re plastered in lime.



2

C

There is some peeling and failure of the paint finishes to the blind arcade and there is some decay of stonework beneath. All paint finish should be removed and lime wash applied, with allowance for further lime plastering.



2

Obs

Chancel
Walls generally in better condition than the Nave and entrance porch although they have still been rendered in a cementitious material and covered with a non breathable finish.



Priorities

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B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
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Costings

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C

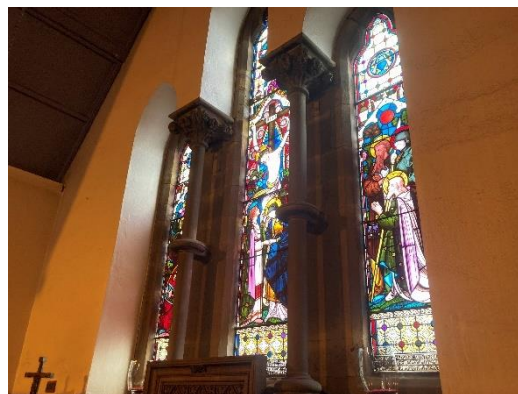
There are some small areas of damp and mould growth which corresponds with highlighted externally particularly to the southeast gable. Addressing the external defects in this area would start to mitigate issues although it would be beneficial to remove the existing plaster and replaster in lime with a breathable decorative finish.



2

C

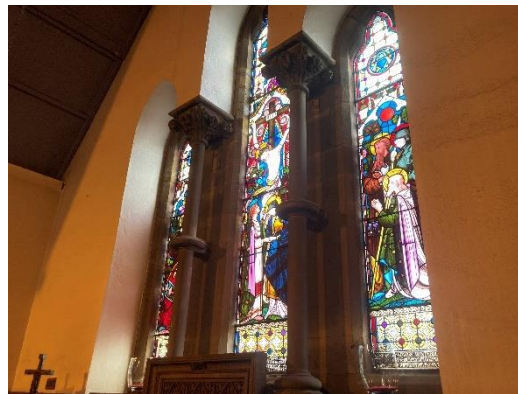
Some of the panels to the stained glass are deforming slightly and 1 of the panels to the central window has become detached from its ties. This should be re-fixed by a specialist glazier.



1

Obs

The decorative stonework to the windows are in very good, crisp condition.



Priorities

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Obs	Keep under observation

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C There are some loose flagstones to the chancel floor and sanctuary step and they should be re-bedded.



1

C The carpet, while in good condition, should be removed to help manage damp issue and aid moisture control within the building.



1

Obs Organ Chamber
The organ itself occupies much of the space and access and detailed inspection difficult.



Priorities

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B	Requires attention within 12 months
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C There is some stone erosion to the interior of the windows on the east elevation, with loose material brushed off for more detailed inspection of the stonework condition.



1

Obs Vestry
There are some isolated areas of water drips which should be kept under observation,



C There is some cracking to the wired glazing and the glazed unit should be replaced, in conjunction with other windows repair items.



2

Priorities

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B	Requires attention within 12 months
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C

The painted brickwork walls have been covered in a non breathable material ,and there are some areas of failing paint and damp penetrating through particularly at low level. It would be recommended to strip all of the walls of their finish and allow for sufficient drying time before decorating in lime wash.



E

The carpet is in a worn condition and should be replaced for a cosmetic improvement. It was not possible to inspect the condition of the substrate beneath.



1

D

Hall - Entrance Lobby
Generally, in fair condition for type and age of construction. There are water stained areas of the plaster and new areas of ceiling patched in. It would be recommended to address roofing defects before replastering this space.



1

Priorities

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B	<i>Requires attention within 12 months</i>
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D

Female Toilet

The ceiling is in poor condition and patched with tape. While the toilets are functioning, it would be beneficial to overhaul them for a cosmetic improvement.



2



D

Male Toilet

The toilet and facilities are functioning but would generally benefit from an overhaul to improve their appearance.




2

Priorities

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Priority	Description	Photograph	Costing Band
D	<p>Main Hall</p> <p>The main hall is in satisfactory condition generally for the type and age of construction, although it would benefit from a general overhaul and decoration.</p>		2
D	<p>The floor to the main hall is worn and consideration is to be given towards replacing for a cosmetic improvement.</p>		2
D	<p>The boxing out of services and skirtings generally are loose and are coming away from the walls; these should be replaced.</p>		2

Priorities

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B

There is a loose transition strip between the Main Hall and Kitchen, which should as a minimum be fixed in location to avoid a trip hazard.



1

Obs

Storage off Main Hall
The storage extension which abuts the Nave of the church is satisfactory, and dry despite the condition of the roof above. This area should be kept under observation.



D

Kitchen
The kitchen functions and is operational although, like other areas of the Hall, is tired and would benefit from overhaul, modernisation and improvement.



3

Priorities

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	B	Requires attention within 12 months
	C	Requires attention with 12-24 months
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Priority Description

Photograph

Costing
Band

D Towards the rear of the kitchen is a series of cracks to the ceiling, which should be filled and redecorated, or replastered as part of a wider programme of modernisation.



1

Priorities

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3.3 Exterior Spaces

D Paths
A paved area to the rear of the hall is overgrown and requires vegetation clearance before cleaning of the slabs, and joints pointed.



1

B There are a number of raised and displaced paving slabs on the entrance path. These should be re-bedded and joints pointed to eliminate trip hazards.



1

D There is a cracked paving slab and vegetation growth joints generally to the paving adjoining the Hall ramp. The joints should be raked out and cracked paving slab replaced.






1

Priorities

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Priority	Description	Photograph	Costing Band
C	<p>Boundaries</p> <p>The boundary wall to the South of the Church has recessed joints which should be repointed in lime mortar. Some of the joints to the coping stones are also recessed and these should be repointed at the same time.</p>		1
C	<p>The boundary wall to the East is in poor condition, having been repointed with cement mortar and having open joints to the coping stones. This wall should be fully repointed in lime mortar, along with the coping stones.</p>		2
D	<p>There is vegetation growth to the North West corner of the site which prevents a clear inspection of the wall. This should be cleared with wall repointed as the above recommendation.</p>		1

Priorities

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D Gates
Pedestrian gates would benefit from re-painting within 12 months.



1

D Generally
The land to the rear of the hall is generally overgrown and would benefit from clearance.



1

Priorities

A	Urgent requiring immediate action
B	<i>Requires attention within 12 months</i>
C	<i>Requires attention with 12-24 months</i>
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4.00 Executive Summary

4.01 The key issues for the PCC to action include:-

- Installation of better access to the Tower roof
- Rebuilding of Tower parapet stonework
- Widespread repointing and stonework replacements to address issues of accelerated decay
- Clearance of valleys and gulleys of vegetation growth
- Replacement of security glazing and repairs to stained glass beneath
- Widespread internal replastering in lime to address moisture and damp issue within the building
- Consideration to be given to modernising the Hall

5.00 **Maintenance Checklist**

Completed

Yr1 Yr2 Yr3 Yr4 Yr5

Continually – After Rainfall

Look at the gutters and roofs as you walk around the building, especially during or after rain, and see where water runs, leaks or overflows

Inspect walls internally and externally for areas of saturation

Act quickly to repair any leaks to prevent damage to walls and ceilings

Seasonally – After Snowfall

Clear snow from vulnerable areas.

Check any temperature discrepancies and correct operation of heating appliances.

If the Church is not in use for several days in frost conditions ensure that the frost thermostat is operating and that the heating is brought on at a low level and ventilation provided so that the structure does not become chilled with a risk of condensation.

Biannually

After leaf fall, clean gutters again to ensure full capacity for Winter and snow drainage.

Check for any bird entry or roosting and block or fit mesh to any opening at risk

Annually

Remove any ivy, elder or sycamore saplings growing near walls and poison remaining roots.

Spray around wall bases, steps and paving joints to discourage weed growth.

Look out for any signs of beetle or worm infestation near exposed timbers, alerting cleaners to report any unusual piles of wood dust or clean holes on woodwork.

Keep weed growth in check, clean out all gutters, adjust falls, and repair joints and brackets.

After heating season arrange annual service, to be completed before the next heating season and leave tested and commissioned.

Inspect roofs with binoculars to check number of slipped or broken slates for repair before Winter.

Open manhole covers and hose or swill away any deposits, or rod any potential blockages. Clean cover rebates and set in grease.

Administrative

Check and reassess level of Insurance cover to ensure adequate reinstatement in the event of mishap. It is also important to advise the Insurers of any major works which may increase the risk, and of any Contracts where cover has to be maintained by the Church, singly or in joint names.

Inspect boundaries, gates, paths and steps for condition and for aspects of public liability.

Make a full visual inspection referring to the building survey reports for Annual Meetings. Call the author of any report if in doubt.

Check inventory and update Log Book

Donald Insall Associates
Chartered Architects and Historic Building Consultants

Donald Insall Associates

Chartered Architects and Historic Building Consultants

St Michael and All Angels, Castleford

Quinquennial Inspection

Inspected by:

Daniel Elkington BArch(Hons) MArch ARB RIBA FHEA

20th July 2023

Previously inspected by:

Graham Saxton BSc (Hons) MRICS (PPIY Architects)

August 2015

Job Number: YSTM.01

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Issue date: Sept 2023
Checked by: Tom Bromet

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1.00 Introduction

1.01 This report is prepared for use by the PCC and describes features and defects observed as required by the Inspection of Churches Measure. The report must not be used as a specification of work to be carried out and the PCC is required to obtain a Faculty before any work is undertaken with the exception of some minor maintenance items. Guidance on whether particular work is subject to faculty can be obtained from the DAC.

1.02 Limitations Of The Report

This report is prepared for use by the PCC and describes features and defects observed as required by the Inspection of Churches Measure. This is a summary report only, it is not a specification for the execution of the work and must not be used as such.

The inspection of the Church and adjacent buildings is made from ground level and using binoculars, parts of the structure which were inaccessible, enclosed or covered have not been inspected, therefore, it is not possible to report that any such part of the structure is free from defect.

1.03 Access

Access for the inspection was provided on the day of the inspection by Eleanor Glennon.

1.04 General Description

St Michael's and All Angels dates back to 1926 and was designed by Charles Archibald Nicholson, an ecclesiastical architect whose commissions also include the west fronts to both Portsmouth and Belfast Cathedrals. The building is not listed.

The church is built of brick on a traditional East - West axis. All openings have ashlar stone dressings. The Nave and Chancel are built off a concrete raft which can be seen projecting 900mm beyond the wall line. The Aisles to the Nave are under the main roof, which is covered in natural slate, however the pitch of the roof does not reduce directly over the arcades. All other roofs are also slate other than the old Boiler Room which is asphalt.

1.08 Previous Works

Work carried out previously and since the last inspection in 2015-

- A specific list was not provided but it was advised that minor repairs and maintenance since the last QI have been undertaken.

1.09 Maintenance

Although the Measure requires the church to be inspected by an Architect every five years, it should be realised that serious trouble may develop in between these surveys if minor defects are left unattended.

It is strongly recommended that the churchwardens should make or cause to be made a careful inspection of the fabric at least once a year and arrange for immediate attentions to such minor matters as displaced slates and leaking pipes.

Gutters, rainwater hoppers and pipes should be cleaned out in the late autumn and summer.

Gullies, soakaways, and drains should be cleaned out regularly and the perimeter of the church kept free of vegetation and grass.

Adequate natural ventilation should be maintained in the church to avoid conditions which encourage fungoid and beetle attacks.

It is recommended that the PCC enter into an annual contract with a local builder for carrying out the required maintenance work.

Guidance may be had from the pamphlet 'How to Look After Your Church' *Publisher: Church House Publishing; 3rd Revised edition (1 Jan. 1991) ISBN-10: 0715175610 ISBN-13: 978-0715175613.*

[http://www.churchcare.co.uk/churches/guidance-advice/looking-after-yourchurch.](http://www.churchcare.co.uk/churches/guidance-advice/looking-after-yourchurch)

1.10 *Fire Precautions*

Fire safety rules affecting all non-domestic premises came into effect on 1 October 2006. Under the Fire Regulatory Reform Act the PCC are required to appoint a 'responsible person' to carry out a Fire Risk Assessment, (which includes details for evacuation and the safe removal of valuables and so on).

At least one fire extinguisher of the right type should be provided; there should also be one additional extinguisher of the foam or CO² type where the heating apparatus is oil-fired. (There are three main types, and it is essential to have the appropriate one in the appropriate place. Advice should be sought from the Local Authority Fire Prevention Officer).

All fire extinguishers should be checked and inspected annually by a suitably qualified person to ensure they are in good working order. Inspection records/certificates are to be kept in the church logbook and on the individual extinguishers.

It is noted the next testing is due in September 2023 and this is in hand.

1.11 *Electrical Installation*

Any electrical installation should be tested annually if over 5 years old and immediately if not done within the last five years (except as may be recommended in this report) by a registered National Inspection Council for Electrical Installation Contracting (NICEIC) or NAPIT full scope or ECA full competence accredited registered electrician. A resistance and earth continuity test should be obtained on all circuits. In addition any portable electrical items should be PAT tested annually by a registered electrical engineer.

This report is based upon the visual inspection of the main switchboard and of certain sections of the wiring selected at random, without the use of instruments.

The following information has been provided in the preparation of this report –

- The next inspection and testing is due February 2024.
- The electrical supply to hall is from church and needs to be addressed before sale of site so that hall has independent supply.
- Additionally the council has CCTV operating from west end of church externally and the church has an agreement with them for this, which can either be passed on to new owner or terminated. Faculty has been granted.

1.12 *Heating Installation*

A proper examination and test should be made of the heating apparatus by a qualified engineer each summer before the heating season begins and the report kept with the church logbook.

No information has been provided regarding the last inspection and therefore it is assumed that this is now due.

1.13 *Lightning Conductor and Protection System*

Any lightning conductor should be tested every quinquennium (in addition to any works which may be recommended in this report) in accordance with current British Standards by a competent electrical engineer and the record of the test results and conditions should be kept with the church logbook.

It is noted the date of the next inspection is not known and it is assumed this is now due.

1.14 *Bells*

Bells and all related apparatus should be checked annually by a suitably experienced specialist.

No information has been provided on the status of the bell, and therefore this should be checked by a specialist.

1.15 *Organ*

An organ specialist should undertake an annual maintenance contract. A technical report on the instrument should be commissioned, particularly when it is of historical or musical interest.

It is noted in the previous inspection that the Organ is by Lewis & Co, Henry Willis & Sons Ltd with electric organ blower and is reported to be in working order. No updated information has been provided.

1.16 *Accessibility*

The Equality Act 2010 states that it is unlawful to discriminate against disabled people in connection with the provision of goods, facilities, and services. All churches are required to take all reasonable steps to fulfil these obligations which in practical terms means having suitable access, lighting levels, sound installation and consideration for accessible toilet accommodation.

The degree of compliance with the Act's requirement to provide reasonable adjustments must be balanced against the requirements to protect the historic fabric of the building and to gain Faculty approval. Further advice is contained within the English Heritage publication "Easy Access to Historic Properties", also at www.churchcare.co.uk/legal . Where it is not possible to fully comply with the recommendations for access, measures to reduce access restrictions should be introduced to the extent that is compatible with protection of the historic fabric.

It is noted that there are no disabled toilet facilities within the building. There is also stepped access into the church, and no temporary ramp provision was seen. It would be

highly advisable to install an accessible WC if the building plans to operate as a publicly open place of worship.

1.17 *Sustainability*

A Quinquennial Inspection is a good opportunity for the Trustees to reflect on the sustainability of the building and its use. This may include adapting the building to allow greater community use, considering how to increase energy efficiency, and considering other environmental issues. Further information is available on the Church Care website.

www.churchofengland.org/more/church-resources/churchcare/advice-andguidance-church-buildings/sharing-your-building

On 12 February 2020 General Synod recognised that we are in a climate emergency and committed to an ambitious carbon reduction target of Net Zero by 2030. The culture is changing fast, both outside and within the Church; questions of sustainability should inform all our buildings-related decisions from now on, and this report highlights opportunities for action. See also the Practical Path to Net Zero Carbon (PPNZC) document in the appendix, and the Sustainability Countdown to 2030 section below.

The Church of England Research and Statistics Team has created an Energy Footprint Tool. This will tell your church what your 'carbon footprint' is, based on the energy you use to heat and light your buildings, and is part of the Online Parish Returns System. You will need to input the data from the most recent year's electricity and gas/oil etc. bills, and the tool will then tell you the amount of carbon produced annually by heating and lighting your church building; it will also offer some helpful tips to reduce your carbon emissions. As you use the tool each year, you will be able to see how your church improves, as you take steps to cut your carbon footprint. Most dioceses now have a Diocesan Environmental Officer in post, who may be able to offer support, including on questions of ecology and biodiversity, and signpost you to further resources.

Sustainability Countdown to 2030: It will be for the PCC to set its priorities for sustainability improvements, and I would encourage you to use the Practical Path to Net Zero Carbon (PPNZC) which can be accessed here –

<https://www.churchofengland.org/about/environment-and-climate-change/net-zero-carbon-routemap>

Donald Insall Associates would also be available to offer advice and guidance on sustainability matters.

1.18 *Protected Species*

Churches and their churchyards are an important part of the diverse natural habitat of England and play a critical in protecting species.

Badgers, bats, and dormice are all examples of protected species in Britain. These species – which include a number of animals and some plants - are legally protected under UK and European law. Their presence on site can have significant implications for the timing and success of a planning application, as well as for the timing and delivery of construction work. The most commonly encountered protected species on development sites are Bats, Dormouse, Great crested newts, Badgers, Birds, and Reptiles.

1.19 *Health & Safety*

Overall responsibility for the health & safety of the church and churchyard lies with the incumbent and the PCC even when a local authority or other organisation might have a maintenance obligation for some or all of the exterior spaces and features. This report may identify areas of risk as part of the inspection but does not equate to a thorough and complete risk assessment by the PCC.

1.20 *Asbestos*

The Asbestos Regulations were amended in 2016 and puts a duty on those responsible for public buildings, including churches, have an Asbestos Survey carried out and maintain an Asbestos Register to identify the type and location of Asbestos when present which should be available for any Contractors working on the building.

Further information is included in the HSE code of practice The Management of Asbestos in Non-Domestic Premises L127 and guidance is available at www.churchcare.co.uk/building

When any construction works are being planned at a preliminary stage an appraisal and investigation into the presence of asbestos should be carried out by an accredited specialist company.

It is understood that a previous Asbestos Survey undertaken in 2012 has found no asbestos within the building.

1.21 *Insurance*

It is of crucial importance that all church buildings be adequately covered by insurance. The PCC is strongly recommended to consult their insurance company or broker for full details and information on variations to the type of cover and any special factors requiring particular consideration.

1.22 *Weather Conditions On The Day Of The Inspection*

Overcast with sunny spells (15°C)

1.23 *Date of Next Inspection*

Before June 2028

2.00 Summary and Recommendations

2.01 Church Summary

The building is generally in an acceptable condition, albeit with minor repair items throughout the interior and exterior.

Non breathable decorative finishes are common throughout the building and ideally these should be removed and replaced with a breathable finish to aid moisture control, particularly at low and high levels of the walls.

The windows would benefit from a programme of repairs, to slow their rate of decay and to prevent water ingress penetrating the building fabric.

No roof voids were inspected during the QI as access was not provided, and it would be beneficial to view these voids to determine any defects in these locations. Similarly the boiler room is sealed and it would be useful to gain access to this space to determine condition.

The boiler house roof is of concern and this should be replaced to address a number of defects externally, along with the interior of the Vestry.

Routine maintenance items should be addressed, to ensure the impact of accelerated decay is minimised. These include repairing the rainwater goods, replacing or refixing loose slates and unblocking gulleys to encourage water to be moving away from the building.

Given the background of potential closure and subsequent redevelopment or demolition, we would strongly advise against the latter. While works are required to the building, a carefully considered programme of works can be considered to arrest prime causes of decay to ensure either continued use as a place of worship if there is demand or to provide a platform for the building to be creatively reused. In either case we would recommend the involvement of a conservation architect to help develop any future proposals.

2.02 Priorities

Against this background, the following programme of works is recommended for the forthcoming 5-year period.

All items for action are given the following prefix and colour coded in the margin of the report which indicates the level of urgency and the time frame under which the works should be programmed.

A Urgent requiring immediate action

B Requires attention within 12 months

C Requires attention within 12-24 months

D Requires attention within 5 years

E Desirable improvement with no time period

M Routine maintenance item which can be actioned without faculty permission.

Obs Keep under observation and report any significant changes to the Architect.

2.03 *Costings*

This report is neither a specification for works, nor a costing, although rough initial estimates of cost are given in line with CBC guidance. The following cost bandings are used -

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

VAT and professional fees are not included in these estimates. The current VAT rate for maintenance works is 20%.

2.04 *Future Projects*

This report can be taken by a Quantity Surveyor to produce an accurate cost report for any future project. Savings can be made by groups works into packages where savings can be made by the economies of scale and for site set up costs and access arrangements such as scaffolding.

Donald Insall Associates would be happy to discuss any future projects arising from this report.

3.00 Inspection Report

3.1 Exterior Inspection

3.1.1 Roofs + Rainwater Goods

D *North Slope – Nave, Aisle and Chancel*
 The verges have been pointed in cementitious mortar which is cracking in places, particularly at the eaves and gutters. This should be repointed in lime mortar.



1

Obs The ridge appears to be in satisfactory condition from ground level inspection.



B It was not possible to inspect the gutters during the inspection due to their location, but they should be cleared out seasonally as part of a maintenance strategy.






1

Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention with 12-24 months
	D Requires attention with 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
B	There are some disturbed slates adjacent to the cross which should be re-fixed back into position and two missing slates centrally which should be replaced.		1
B	<i>Lady Chapel</i> There are a number of missing slates adjacent to the clerestory and a slipped slate adjacent to the Nave gable which should be replaced. There are also a number of slates with corners missing.		1
D	Cementitious verge pointing has been used which is cracked and should be replaced.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
C	There is a small build-up of moss to the brick below the bellcote window which should be removed.		1
C	The lead flashing is in poor condition with an area of dislodged flashing to the corner of the bellcote. Consideration should be given to renewing with a suitable material.		1
C	There is moss to the ridge pointing of the gablet which should be removed.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B

South Slope – Nave and Aisle

There is one missing slate to the Aisle to the west near the eaves which should be replaced.



1

D

There is missing creasing pointing to the West Gable end, close to the eaves which should be repointed.



1

C

There appear to be some open joints near the cross on the Eastern Gable which should be repointed.






2

Priorities

	A	Urgent requiring immediate action
	B	Requires attention within 12 months
	C	Requires attention with 12-24 months
	D	Requires attention with 5 years
	E	Desirable improvement with no time period
	<i>M</i>	Maintenance item
	<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
A	There is a missing section of gutter to the South Aisle which should be reinstated.		1
D	The fascia board to the South Aisle appears to be undecorated and should be redecorated.		1
B	There are dislodged tiles to the cross on the west gable which should be reset in place.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B There is a missing section of fascia board to the clerestory above the vestry. There is also a missing section of gutter adjacent to the missing area of fascia board.



1

Obs An area of slates to the East Gable have been repaired with tingle strips.



Obs The ridge appears to be in satisfactory condition from ground level inspection.






Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention with 12-24 months
	D Requires attention with 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
B	It was not possible to inspect the gutters during the inspection due to their location, but they should be cleared out seasonally as part of a maintenance strategy.		1
D	<i>Vestry</i> The fascia boarding at the southeast corner is completely rotten and should be replaced in new.		1
B	Replace failed mortar fillet with lead flashing.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D There are sections of felt flashing that have slipped onto the roof and they should be re-fixed or replaced with a sympathetic material.



1

D There is significant rusting to the base of the flue, and this should be replaced.



1

B There is a missing slate to the west of the vestry roof, which should be replaced.



1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

A

There is an open joint to the guttering which should be re fixed.



1

C

There is some decayed timber to the east end of the Vestry roof at eaves level which could be indicative of further timber decay, this should be investigated further.



1

Obs

Boiler House

Covered in asphalt with brick parapet upstand walls. Generally in a very poor state. The previous QI noted that there has been discussion at PCC regarding demolishing this building.



Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B The asphalt has completely broken away in areas and fallen off, particularly to the upstands of the higher-level roof where the asphalt upstands have come away to the parapet walls and at the junction with the Vestry roof. Vegetation is growing and the asphalt upstands on the lower roof gathering and peeling away. If the boiler house is to remain, the roof will require replacing due to water penetrating the fabric and affecting internal spaces.



2

B There are a number of open joints and extensive vegetation growth to the parapet upstand walls; this should be removed.



1

B The walls, the lower roof parapet and the brick copings should be repointed.



1

3.1.2 Elevations

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Obs North Aisle

There is some sign of movement at the spring of the northwest door arch at the east. This should be kept under observation and the open joints repointed.



E

The steel guarding is rusting and should be replaced with a sympathetic option which is inset into the windows openings.



2

Obs

There is evidence of minor masonry bee infestation to the northwest which should be kept under observation.



Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

B Minor delamination to the top step of the northwest entrance door is causing a trip hazard. Consideration could be given to redressing the stone of the step to remove delamination.



1

C The ground level has been built up towards the north, rising from the south, and the nature of the foundations is causing water to be held up at the base of the perimeter of the building. A first action should be to ensure all gulleys are free of debris and the underground drainage is getting water away from the building; a CCTV survey of the drainage may assist with this. Further remedial works could be to create a channel within the concrete to form a gutter and discharge rainwater away from the building.



1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
A	The gullies are full of vegetation which should be cleared out as part of an annual maintenance strategy.		1
D	Minor rusting and corrosion to the ferramenta of the windows should be re-decorated.		1
E	There is a section of plain glazing to the left-hand window, consideration could be given to replacing this to match.		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
E	<p><i>Lady Chapel</i></p> <p>A mains power cable rises to the East then routed across at eaves level where it rises further at the Nave following the line of the eaves to the West where it enters the building at low level at the West of the Nave. Consideration could be given to rerouting the cable for a more aesthetically pleasing/discreet approach.</p>		2
C	<p>There are small areas of open jointing to the east and west windowsills and to the west window east reveal. These should be repointed to stop rainwater penetrating the fabric below.</p>		1
D	<p>The putty to all three windows of the Lady Chapel is in poor condition and should be replaced.</p>		1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
D	Damage to inside face of the West window, left hand pane due to a broken external pane. This should be replaced by a specialist glazier.		1
D	The fascia board requires redecorating to the North Gable and Lady Chapel roof.		1
Obs	There is further evidence of minor masonry bee infestation should be kept under observation.		

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
M	Maintenance item
Obs	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

A

The gullies are full of vegetation which should be cleared out as part of an annual maintenance strategy.



1

Obs

The building was originally constructed in a cement lime mortar and has been later repointed with cementitious mortar, which is generally in fair condition, but is showing some signs of cracking.



C

Lady Chapel – East Gable
There is open jointing at low level which should be repointed.






1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
E	There are former fixing holes to the northeast corner that are unsightly. Consideration could be given to repoint if desirable.		1
D	The putty to all windows should be renewed.		1
D	Minor rusting and corrosion to the ferramenta of the windows should be re-decorated.		1

Priorities

A	Urgent requiring immediate action
B	<i>Requires attention within 12 months</i>
C	<i>Requires attention with 12-24 months</i>
D	<i>Requires attention with 5 years</i>
E	<i>Desirable improvement with no time period</i>
M	<i>Maintenance item</i>
Obs	<i>Keep under observation</i>

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D The window guarding is corroding, and starting to fail. This should be replaced with an alternative type of window guarding which is inset into the reveals of the 3-light window.



1

E *Chancel, Clerestory and North Elevation*
The lightning cable is haphazardly routed across the building. Consideration could be given to rerouting if desirable.



2

D The steel guarding to the two clerestory windows is disintegrating; this should be replaced in stainless steel powder coated which should be inset to the windows and quatrefoil opening.



2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D Minor rusting and corrosion to the ferramenta of the windows should be re-decorated.



2

D *Bellcote*
Minor rusting and corrosion to the ferramenta of the windows should be re-decorated.



1

D There is an area of open jointing to the high-level brickwork including the bell openings. This should be repointed. Consideration to repointing the whole of the belfry when the scaffolding is in place would be advisable. The condition of the South elevation of the bellcote could not be assessed as it was out of view, but it can be assumed that there will also be open jointing to this elevation which will require repointing.



3

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C There is vegetation growing on the roof coverings and copings, which should be removed when the wall repointing is done. All coping stones should be repointed.



2

C A fracture was observed running through the tiles and eaves brick course. This was also identified in the last two inspections and is likely to be caused by iron in the masonry. This will require removal; partial dismantling of the masonry and the whole of the roof will require retiling. This should be done with the wall repointing.



3

Obs There are brick salts to the two larger openings which should be brushed off and the area kept under observation.



Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Obs *Chancel East Elevation*
There is a presumed small opening at high level which is boarded up, this should be investigated and ideally opened up to provide ventilation to the roof void.



D The steel guarding appears to have been replaced since the previous inspection. It would be preferable to be mounted inset to each of the window reveals.



2

D Minor rusting and corrosion to the ferramenta of the windows should be re-decorated.



2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Obs The cornerstone to the north is showing signs of delamination. This should be kept under observation to help understand the rate of decay.



B *Vestry – East Elevation*
There is vegetation starting to take hold adjacent to the gable brick copings which should be removed, open joints repointed, and the area treated with herbicide. The copings to this upstand would also benefit from repointing at the same time to stop any moisture getting into this vulnerable area.



1

C There is an old iron fixing to the South just below the coping which should be removed as it is starting to fracture the brickwork. A stepped fracture is developing.



1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D Carried forward from the previous inspection, there is a small area of open jointing to the north of the window at low level and there are a number of fine open joints where the brickwork meets the stonework of the window. These should be repointed in lime mortar.



1

D The steel guarding appears to have been replaced since the previous inspection. It would be preferable to be mounted inset to each of the window reveals.



1

D Minor rusting and corrosion to the ferramenta of the windows should be re-decorated.



1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
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4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C

Chancel South Clerestory

Bitumen has been used to repoint one of the windowsills. This should be raked out and repointed in lime mortar.



2

Obs

Below the section of missing fascia board there is bird guano. This could be indicative of birds nesting within the roof void. Further investigation is needed.



D

The steel guarding to the two clerestory windows is disintegrating; this should be replaced in powder coated stainless steel which should be inset to the windows and quatrefoil opening.






2

Priorities

	A	Urgent requiring immediate action
	B	Requires attention within 12 months
	C	Requires attention with 12-24 months
	D	Requires attention with 5 years
	E	Desirable improvement with no time period
	<i>M</i>	Maintenance item
	<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
D	Minor rusting and corrosion to the ferramenta of the windows should be re-decorated.		1
D	<i>South Aisle East Gable (above the vestry roof)</i> The steel guarding to the window is disintegrating; this should be replaced in powder coated stainless steel which should be inset to the window opening.		1
D	<i>Boiler House – All Elevations</i> There are a number of open joints and missing sections of pointing to the entire elevation which would benefit from re-pointing.		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
C	There are bricked up windows near floor level where the brick in the windows is starting to decay. Depending on how the building is used going forward, a decision on how these windows are used, reinstated, or repaired should be made.		2
B	The existing cast iron hopper and downpipe is entirely dysfunctional, the existing roof does not extend into it, it is full of vegetation, and needs entirely re-decorating.		1
B	The rainwater goods should be overhauled as part of a potential reroof of the boiler house.		1

Priorities

A	Urgent requiring immediate action
B	<i>Requires attention within 12 months</i>
C	<i>Requires attention with 12-24 months</i>
D	<i>Requires attention with 5 years</i>
E	<i>Desirable improvement with no time period</i>
M	<i>Maintenance item</i>
Obs	<i>Keep under observation</i>

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

C

Old Toilet/Store – All Elevations

Open jointing to the window stone sills and headers. Large area of damaged brickwork in the east at higher level. Open jointing around the door reveals and at the high level to the South. Repointing of the open joints is required.



2

E

There is an old light fitting to the corner which is no longer working and should be replaced or removed.



1

E

The current opening to the old toilet is boarded up. Depending on future use, consideration could be made to opening up and fitting a new door.



1

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

D

Vestry – South Elevation

Minor rusting and corrosion to the ferramenta of the windows should be re-decorated and the putty renewed.



2

B

The cast iron downpipe is in poor condition with failing paintwork and a corroded back. This should be re-decorated with new paint, and joints should be re-sealed as part of the overhaul.



1

A

The gullies are full of vegetation which should be cleared out as part of an annual maintenance strategy.






Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+




Priority	Description	Photograph	Costing Band
C	<p><i>South Aisle</i></p> <p>The are frequent open joints throughout the elevation, that require repointing. There are also isolated open joints to all the window sills, which should also be repointed to prevent water ingress.</p>		1
D	<p>The guarding to all windows is new and is largely satisfactory, although to the eastern window one of the fixing plates has come loose.</p>		1
D	<p>Minor rusting and corrosion to the ferramenta of the windows should be re-decorate and the window putty renewed.</p>		2

Priorities

A	Urgent requiring immediate action
B	Requires attention within 12 months
C	Requires attention with 12-24 months
D	Requires attention with 5 years
E	Desirable improvement with no time period
<i>M</i>	Maintenance item
<i>Obs</i>	Keep under observation

Costings

1	£0-1,999
2	£2,000-9,999
3	£10,000-29,999
4	£30,000-£49,999
5	£50,000-249,999
6	£250,000+

Priority	Description	Photograph	Costing Band
C	The ground level has been built up on the South elevation, and the nature of the foundations is causing water to be held up at the base of the perimeter of the building. A first action should be to ensure all gulleys are free of debris and the underground drainage is getting water away from the building; a CCTV survey of the drainage may assist with this. As previously mentioned, creating a channel gutter would be beneficial to direct water away from the building.		2
C	There is a fracture running through the head of the Middle window from the West into the eaves oversail, and is visible internally. The fracture should be stitched and repointed and repair kept under observation.		2
D	There is some graffiti at the extreme west end which should be removed so as not to encourage further vandalism.		1

Priorities

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Costings

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6	£250,000+

<i>Priority</i>	<i>Description</i>	<i>Photograph</i>	<i>Costing Band</i>
D	There are marks to the left-hand window reveal which appear to be mortar staining. These should be cleaned off to improve the appearance.		1
D	There are remnants of old signage which should be removed to improve appearance.		1
D	The coping stones to the stairs wall have a missing section. This could be repaired with a new stone ident or a full block replacement if desired.		1




Priorities

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Donald Insall Associates

Priority	Description	Photograph	Costing Band
C	The top step outside the door has delaminated which is causing a trip hazard. Consideration to be given to replacing step or turning the stone block over.		1
C	<i>South Aisle – West Elevation</i> There is deterioration to the jointing to the south, level with the windowsill, would benefit from repointing.		1
D	There are remnants of graffiti at higher level adjacent to the buttress and at low level which should be cleaned off.		1

Priorities

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Priority	Description	Photograph	Costing Band
D	There is some open jointing to the brick oversail which should be repointed to keep the weather out.		2
B	There are self-seeded trees which are taking hold to the base of the wall which should be removed.		1
Obs	<i>Nave – West Elevation</i> The plain tile roof over the West door has been replaced since the previous QI.		

Priorities

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Costings

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Priority	Description	Photograph	Costing Band
C	The mortar fillet to the top of the roof has cracked, come loose, and failed. This should be replaced with a metal flashing.		1
D	There are remnants of old signage which should be removed to improve appearance.		1
D	Minor rusting and corrosion to the ferramenta of the windows should be re-decorated.		1

Priorities

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Priority	Description	Photograph	Costing Band
C	<p><i>North Aisle – West Elevation</i></p> <p>Open jointing to the windowsills, low level to the first brick course, and to the brick oversail should be repointed.</p>		1
C	<p>Ferrous fixings should be removed below the window to stop damage to the bricks from rust jacking.</p>		1
D	<p>The metal conduit around the window opening is rusting and should be replaced with a galvanised conduit alternative.</p>		1

Priorities

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B	Requires attention within 12 months
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3.2 Interior Inspection

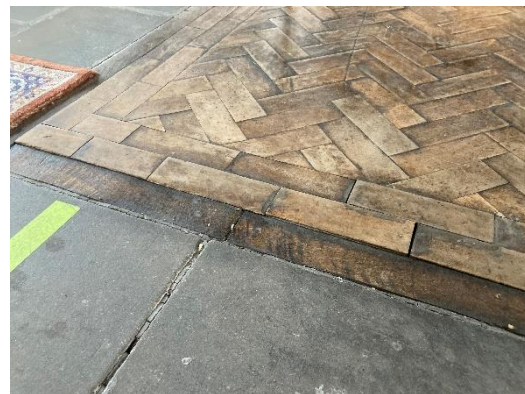
Obs *Nave*
Four arcades to North and South Aisles with plastered spandrels and sandstone columns on bases with capitols inset to the arcades. All in good condition, however, the painting to the arcade is in a non-breathable finish, this should be kept under observation.



Obs Yorkstone to the Aisles with hardwood parquet flooring to the seating areas. The floor is raked falling from west to east which makes it difficult to use as an all-purpose area.



C Numerous areas of loose parquet blocks which should be re fixed into position.



1

Priorities

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D

Narthex

There is paint flaking and salts appearing on the west elevation, north of the main door and a small area to the south on the west wall at low level and around the window. Flaking paint to the first column of the south nave arcade. Loose paint should be removed, and the salts brushed off, then the area should be kept under observation before repainting in a breathable finish.



1

E

As highlighted in the previous inspection, two windows to the west wall of the Narthex have been damaged in the past and they have been repaired with full pieces of float glass with lead came planted on. If desired, these could be reinstated as they were originally.



1

D

Electric Cupboard under Stair Cupboard

There are salts forming at low level and failing decoration, which should be brushed off the bricks and kept under observation.



1

Priorities

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B

North West entrance Lobby

Inset door mat, now rather worn, and not flush with surrounding stone flooring. Replacement of mat on raised substrate to reduce lips and trip hazard.



1

Obs

South Aisle

There is a movement fracture over the central window, also recorded externally. The previous QI mentioned that this must be kept under observation, repointed externally, and filled internally to help monitor any further movement. However, no monitoring has taken place since the last inspection, so it was not possible to determine whether the fracture has worsened.



C

There has been a great deal of paint and plaster loss at the south altar on the south wall to the east. When external defects in these areas have been addressed, non breathable paint finishes should be removed and the area replastered in lime and decorated in a breathable finish.



2

Priorities

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<i>Obs</i>	Keep under observation

Costings

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D Non breathable paint finishes has exacerbated water ingress due to open joints in the pointing and leaded windows. It would be beneficial to remove this and redecorate in a breathable decorative finish.



3

C There are patches of poor gypsum plaster repairs to the west wall. These have been poorly executed and salt is coming through, particularly at low level. Given the difficulty of reducing external ground levels, consideration could be given to introducing ventilated wainscoting.



2

D The glazing bars to the interior of the windows are rusting and require replacing in stainless steel or bronze and redecorating.



1

Priorities

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Obs

North Aisle

There is damp to the base of the eastern wall and at low level as on the South Aisle, where the same paint loss problem is occurring as the South Aisle due to surface water. The base of the wall was hard to survey due to items obstructing view.



D

There is flaking, non-breathable paint which is quite dirty to the eastern end of wall and non-breathable paint which is failing to western gable end. This should be kept under observation and re-painted in a breathable finish if necessary.



3

D

Windows:

The glazing bars to the interior of the windows are rusting and require replacing in stainless steel or bronze and redecorating.



1

Priorities



- A** Urgent requiring immediate action
- B** Requires attention within 12 months
- C** Requires attention with 12-24 months
- D** Requires attention with 5 years
- E** Desirable improvement with no time period
- M** Maintenance item
- Obs** Keep under observation

Costings

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D There is a vertical lead came that is missing to the second window from the west, where a broken glass has been replaced in one piece. This should be removed and replaced as two pieces with a new lead came.



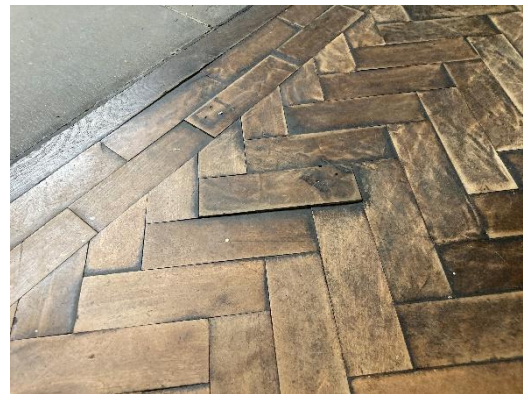
1

D The lower section of the third window from the west has been replaced in one piece of glass; ideally this should be remade to match the other window panels.



1

C Parquet flooring in fair condition with a few areas of loose parquet blocks to floor near the Nave.






1

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Priority	Description	Photograph	Costing Band
D	The previous inspection stated there were some loose flag stones running adjacent to the wall which should be re-bedded to avoid them becoming a trip hazard. The floor was hard to survey due to items obstructing view.		1
D	<i>Lady Chapel</i> The previous QI mentioned some signs of paint flaking off, particularly to the north wall at low level, suggesting the same problem with the damp proof course as above. This has been redecorated since the previous QI; however this is already starting to bubble due to the use of non-breathable paint. The paint should be stripped, and the walls redecorated in a breathable finish.		2
C	The Saint Raphael stained glass window is significantly bulging in the centre and should be fixed in place by a glazing bar to prevent further movement.		2

Priorities

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D uPVC door to the chancel is now poorly fitting and the hinges require refixing.



1

D *Chancel + Sanctuary*
The paint is flaking badly due to the use of non-breathable paint, particularly to the south wall. The north wall is also affected but not as badly. This should be scraped off and repainted in a breathable finish.



3



Priorities

	A Urgent requiring immediate action
	B Requires attention within 12 months
	C Requires attention with 12-24 months
	D Requires attention with 5 years
	E Desirable improvement with no time period
<i>M</i>	Maintenance item
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D There is badly flaking paint to the reveals of the east window. This is likely to be caused by condensation more than penetrating damp and redecoration will be required ongoing. The situation could be improved by renovating the window openers which would help with ventilating the building. A breathable paint finish should also be used.



2

D There are some open joints to the flagstones which would benefit from repointing, particularly at the Chancel arch step. Non-breathable paint has been applied to floor; this could be removed if desired.



1

D *Vestry Passage*
Ceiling has areas of failed paintwork would benefit from repainting in a breathable paint finish.




1

Priorities

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Priority	Description	Photograph	Costing Band
D	Gypsum plaster repair is poorly executed from presumed heating insulation removal.		1
D	Plastered with two open arcades to the Chancel. Plastered wall starting to lose paint and would benefit from repainting.		1
C	<i>Vestry</i> The walls adjacent to the boiler house are in very poor condition with a significant loss of plaster that is starting to affect the inner sill and some of the reveal stones to the window. This is almost certainly due to the poor condition of the old boiler house roof which will be allowing water into the fabric. The boiler house roof will need to be remedied before this defect can be rectified.		1

Priorities

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Obs There is a danger that dry rot could start in this floor adjacent to the boiler room. The carpet has been removed since the previous QI and there are currently no signs of dry rot, although, the condition of the boiler house roof would still indicate that this is a very real concern.



D *Choir Vestry*
Timber boarded and painted; the decoration is in very poor condition and would benefit from redecoration.



1

D There are several holes to the ceiling from the previously housed boiler. These would benefit from being patched in or the entire ceiling replaced.



1

Priorities

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Obs Through the patches to the ceiling you can see through to the roof void, however, it was not possible to survey the roof void due to no access being provided.



D The previous housing of the boiler in this location has left the room in extremely poor condition. The entire room should be fully stripped back to a sound plaster base and refinished in a breathable paint.



2

D The windows would benefit from a general overhaul with redecoration and re-puttying.



1

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D The glazing bars to the interior of the windows are rusting and require replacing in stainless steel or bronze and redecorating.



1

D Both doors are starting to catch and should be eased.



1

D Parquet flooring in poor condition. The finish is lost, and a number of blocks are coming loose, with some missing altogether. The floor requires relaying, and the missing blocks replaced.



1

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D

Rear Lobby

Areas of paint are starting to fail to both the boarded ceiling and the plastered walls, which would benefit from redecoration in a breathable paint finish.



1

C

Failed paint and plaster to walls generally, and they would benefit from being replastered in lime, and addressing the external defects to the boiler house a priority.



1

D

Organ Loft

The walls of the West Gable have deteriorated since the last QI and areas of lost plaster have come away from the walls there is also salting to areas of the plaster. This should be brushed off and redecorated. There is also non-breathable paint finishes which are failing due to water ingress.



1

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E The main west window behind the organ could not be accessed but would benefit from renovating so that they can be opened to improve ventilation to the building.



2

Obs *Boiler Room*

No access was available to this space during the visit as the door has been fixed closed. It would be highly beneficial to open this space up to determine condition and understand the potential impact it may be having on surrounding areas of the building.

Priorities

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3.3 Churchyard

C There is cracking to the crazy paving to the northeast and loose stones this should all be re bedded.



1

M The Church is surrounded by private housing to most sides. Generally the grounds are overgrown, which has made inspection of the boundaries difficult.



Please note the hall was not included as part of this Inspection.

Priorities

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4.00 Executive Summary

4.01 The key issues for the PCC to action include:-

- Programme of repairs to all windows
- Open up boiler room and roof void for further inspection
- Areas of decayed plaster and paintwork to be remedied
- Conduct routine maintenance such as clearing gulleys of vegetations
- Programme of minor roof repairs
- Programme of minor repointing works
- Review of security mesh to windows, with numerous windows requiring new mesh
- Repairs to guttering and rainwater goods.

5.00 Maintenance Checklist

Completed

Yr1 Yr2 Yr3 Yr4 Yr5

Continually – After Rainfall

Look at the gutters and roofs as you walk around the building, especially during or after rain, and see where water runs, leaks or overflows

Inspect walls internally and externally for areas of saturation

Act quickly to repair any leaks to prevent damage to walls and ceilings

Seasonally – After Snowfall

Clear snow from vulnerable areas.

Check any temperature discrepancies and correct operation of heating appliances.

If the Church is not in use for several days in frost conditions, ensure that the frost thermostat is operating and that the heating is brought on at a low level and ventilation provided so that the structure does not become chilled with a risk of condensation.

Biannually

After leaf fall, clean gutters again to ensure full capacity for Winter and snow drainage.

Check for any bird entry or roosting and block or fit mesh to any opening at risk

Annually

Remove any ivy, elder or sycamore saplings growing near walls and poison remaining roots.

Spray around wall bases, steps, and paving joints to discourage weed growth.

Look out for any signs of beetle or worm infestation near exposed timbers, alerting cleaners to report any unusual piles of wood dust or clean holes on woodwork.

Keep weed growth in check, clean out all gutters, adjust falls, and repair joints and brackets.

After heating season arrange annual service, to be completed before the next heating season and leave tested and commissioned.

Inspect roofs with binoculars to check number of slipped or broken slates for repair before Winter.

Open manhole covers and hose or swill away any deposits or rod any potential blockages. Clean cover rebates and set in grease.

Administrative

Check and reassess level of Insurance cover to ensure adequate reinstatement in the event of mishap. It is also important to advise the Insurers of any major works which may increase the risk, and of any Contracts where cover has to be maintained by the Church, singly or in joint names.

Inspect boundaries, gates, paths, and steps for condition and for aspects of public liability.

Make a full visual inspection referring to the building survey reports for Annual Meetings. Call the author of any report if in doubt.

Check inventory and update Logbook

Donald Insall Associates
Chartered Architects and Historic Building Consultants

QUINQUENNIAL INSPECTION SURVEY REPORT
under the
Care of Churches and Ecclesiastical Jurisdiction Measure 1991

ALL SAINTS, CASTLEFORD

Parish: Castleford
Archdeaconry: Pontefract
Diocese: Leeds



Inspection carried out:

Inspecting Architect
SM Calvert, BA Dipl.Arch. Dipl.Arch.Science, MAPM, RIBA, SCA
Pearce Bottomley Architects
Roman Ridge
Aberford
Leeds
LS25 3AW

Tel: 0113 281 2000
Email: pbp@pbarchitects.co.uk

Job Ref: 4964
Date: 26th September 2017 and 24th October 2017

Diocese: Leeds
Benefice: Castleford Team Parish
PCC: Castleford All Saints
Contact: Mr John Ladley
Date of Inspection: 26th September and 24th October 2017
Date of Previous Inspection: 9th and 21st November 2012

BACKGROUND

The church is listed, Grade II; its listing description reads thus:

WEST YORKSHIRE WAKEFIELD 5115 CASTLEFORD CHURCH STREET SE42NW (west side) 1/1 Church of All Saints

- - II Church. 1866, by H.F. Bacon. Hammer-dressed sandstone, graduated slate roof. Nave with north and south aisles, south porch, crossing tower, north and south transepts, chancel. Early English style. Five bay nave and aisles; gabled porch to 3rd bay of south aisle has 2-centred arched outer doorway with a pair of colonnettes to each jamb, wrought iron gates with scrolled decoration; south aisle has coupled lancet windows with quatrefoils above. Buttressed north aisle has a weathered plinth, 2-centred arched windows of 2 cusped lights with Perpendicular tracery, and hoodmoulds with figured stops, except in the westernmost bay, which has a 2-centred arched doorway with moulded surround under a square hoodmould with quatrefoils in the spandrels. Nave has clerestory of coupled cusped lancets; 4-light west window with bar tracery and a multifoil in the head. Buttressed transepts have plate-traceried 3-light windows. Two-stage crossing tower has corner pilasters, 2 weathered bands, 2 small lancets below the lower band, a clock face between them (with a hoodmould), 2 recessed louvred belfry windows with set-in shafts, a band of ball flower ornament below the parapet, and an oversailing parapet pierced with quatrefoils; octagonal stair turret at south east corner finished as a pinnacle. Two-bay chancel has a cusped lancet in each bay, and 3-light east window with bar tracery and multifoil. Interior: 5-bay arcades of quatrefoil columns with foliated caps (all different), carrying 2-centred arches with 2 orders of moulding; clerestory windows with internal colonnettes which have square cushion capitals (hammer dressed); arch-braced king-post roof supported by fluted triangular corbels; south aisle roof re-using timbers of former church; tower crossing of double- chamfered arches rising from short colonnettes with stiff-leaf capitals; at east end of north aisle, part of wooden C15 screen with Perpendicular tracery (ex situ).

Note:- A location/site plan is attached.

ACKNOWLEDGEMENTS

My thanks to John Ladley and David Field for their support, knowledge and hospitality during my two visits (the second to inspect the Hall)

SURVEY REPORT

LIMITATIONS:

The Inspection is carried out from ground level using binoculars outside and from permanent access routes within the building. The inspection is visible. Inaccessible and enclosed spaces are specifically excluded. Advice on further investigation within these areas may be recommended. The report covers the general condition of the building. The age of the building is taken into account when commenting on prevailing conditions of the fabric, therefore some superficial defects may not be specifically mentioned. Recommendations for remedial work are made with a view to halting or slowing down the process of decay and sometimes to renew and improve. They are made in the context of the age and general condition of the building and are for guidance.

This report should not be used for a specification.

GENERAL

1.0 Schedule of Works completed since the previous Quinquennial Report

General

An asbestos survey was carried out in 2013.
Shrubs growing in parapet removed 2013.
Tower gutters cleared.
Electrical test of tower circuits.
Carpet removed from side Aisle.
Warning notices added to ladder and rope to spiral stair.
Bell frame de-rusted.
Toilet roof cleaned.
Communion rail fixings improved.
Gas connectors serviced.

2.0 General Condition

The Church stands proud on the hill in Castleford and, although has suffered settlement historically, is generally structurally sound.

The roof and rainwater goods are tired and a programme of immediate urgent repairs is needed (likely cost £10,000) but plans for re-roofing some slopes in say ten years should be borne in mind.

Similarly there are some urgent stone/re-pointing repairs needed to stem water penetration, but a maintenance plan for the next ten years is needed with the first phase within the quinquennium is recommended. (Likely cost £50 - £75,000).

EXTERNAL

3.0 Roof Coverings

3.1 Tower

Formed with Welsh slate, two hipped ends with a short stone ridge. Stone falling to perimeter parapet gutters. All ridges and hip tiles need taking off and re-bedding. Slate condition is variable to the slopes but given the size of slate area re-roofing would make sense.



C

- 3.2 Lead parapet gutters, blocked on the south and east sides. Vegetation is evident and there is a shrub root lodged in the east gutter which is blocking and breaking up the lead.



A

- 3.3 The parapet work is perforated with quatrefoil openings and the joints between the individual stones. Some are significantly open allowing water penetration into the bed joint of the base of the parapet work. The lead parapet gutter is largely concealed by the duck boards but there is considerable debris below. Removing the boards temporarily, cleaning out and inspecting is essential. There's a chute from the parapet gutter to an external hopper only 75mm wide so quite restrictive.



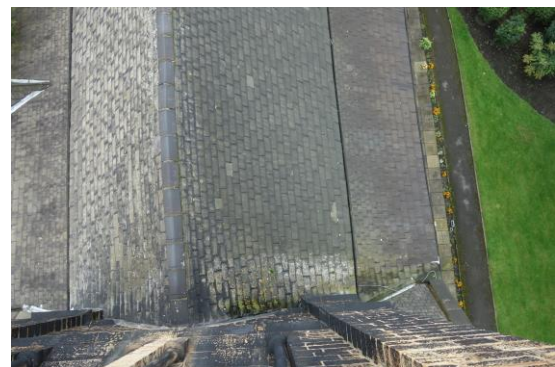
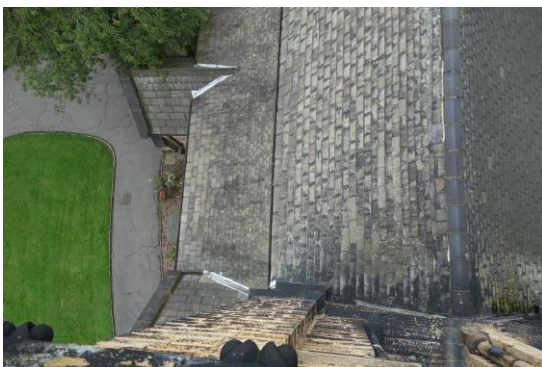
A

- 3.4 The coverflashing is adrift on the north side and vegetation is growing behind it. There are two chutes both on the north side.

A

- 3.5 Nave. The roof is dual pitched with lower Aisle roofs, a lower dual pitched roof to the Chancel and dual pitched roofs to the north and south Transepts. At the west end is the Vestry and Kitchen which is flat roofed. Pitched roofs are covered with blue Welsh slate set in diminishing courses; with stone ridges and coped gables.

-



- Nave: South.
- 3.6 There are a number of slipping slates particularly the west end. The clay ridge tiles are generally intact, there is some slight disturbance in the section close to the Tower abutment. B
- 3.7 The west gable is finished with parapet copings. The top stone needs resetting. C
- 3.8 The eastern abutment with the Tower is with soakers and lead coverflashings. The lower section appears to be coming away. A
- South Aisle.
- 3.9 There are a number of tailed slates. There is a significant number of clipped slates which would indicate that nail fatigue is beginning to take effect. Monitor and check in two years. C
- South Porch.
- 3.10 Dual pitched. The slates are in good order. The side abutment with the parapet gable is beginning to break up and will need attention. The ridge bedding is breaking up. D
- 3.11 The parapet verge detail and abutment flashings for the South Aisle roof have all been replaced in flash band or similar. Apparently there have been a number of lead thefts which have resulted in this technique. Requires permanent repair, possibly zinc. B
- South Transept
- 3.12 There are a number of clipped tiles to the west slope. The east slope has one which is slipping and one that is cracked and slipping. The lead abutment flashings to the south face of the Tower have been partly over rendered and are beginning to break up. A
- Chancel Roofs: South.
- 3.13 There are some uneven and displaced slates in the upper two courses with a singular number below that slipping or tailed. The side abutment with the east face of the Tower appears sound. There is vegetation growing at the base of the gutter that forms a back gutter with the turret stair to the Tower. A
- Chancel, North Slope.
- 3.14 There is some disturbance around the western abutment with the Tower at the point of the string and adjustments to the line of the flashings. Investigate by roofer. B
- 3.15 Slate repair has been carried out using flash band or equivalent. Requires permanent repair, possibly zinc. B
- 3.16 The eastern abutment with the parapet coping to both north and south is mortared solid but with signs of cracking. Monitor and check in two years. C
- Vestry
- 3.17 The north slope to the Vestry is skewed as there has been some settlement at the left hand nearest corner. The pitch of the roof being much slacker than that of the Chancel is showing more growth of algae. There appears to be a little disarray within the triangle forming the valley gutter section with the north Transept. Investigate by roofer. The abutment with the east parapet copings appears okay, the western abutment partly has a valley gutter with the north Transept roof and partly with a soaker and flashing arrangement which appears to have some vegetation growing just at the junction between the two forms. B
- North Transept: East Slope.
- 3.18 There are three tailed slates otherwise it is intact. Abutment flashings to the Tower appear intact. The mortar haunching to the parapet gable is failing and will require attention. C

	North Transept, West Slope.	
3.19	The geometry of the roof and the valley gutter is mirrored with that of the Vestry (see above).	-
3.20	There are two slates which have tailed significantly and will require replacement.	B
3.21	There is significant vegetation established at the spout of the stack from the Tower.	A
3.22	The lead abutment with the Tower appears satisfactory. Ridge tiles appear satisfactory.	-
	Nave, North Slope.	
3.23	There are fourteen/fifteen tailed slates, a couple of which are also slipping. There is a small number that have been clipped.	B
3.24	There is some disturbance at the extreme west end at the base of the parapet coping where the mortar fillet is coming away exposing the full edge of the coping and the gap beneath it and the slate. There are no soakers visible. Check when carry out necessary repairs.	A
	North Aisle Roof	
3.25	Similar to the South Aisle in that there is a significant number of clipped and tailed slates indicating concerns for the nail fatigue. Monitor and check in two years.	C
3.26	There is some significant undulation in the extreme east end and also in the extreme west end with the junction of the parapet copings. Monitor and check in two years.	C
3.27	The main flat roof over the west end has been re-covered with a single ply membrane. It is generally in good order but the edge details need careful monitoring. Review in two years.	C
3.28	The smaller flat roof on the north side is felt covered and now close to renewal. The surface is moss covered and the outlets prone to blockage. Review in one year.	B
4.0	Rainwater Goods and Disposal Systems:	
4.1	Eaves gutters are ogee pattern cast iron sitting on a stone cornice with discharge outlets from the base directly into the head of a rectangular section of cast iron rainwater goods. There does not appear to be any sections missing, however the horizontal joints will need checking in rainy conditions as there appears to be some distress on the caulked joints. The bracket supports and hold fasts generally in good order. There is some vegetation growing in both the Chancel and Nave gutters that will require clearing.	B
4.2	There are two circular section cast iron rainwater pipes that fall from the Tower parapet discharging onto the valley gutters formed between the north Transept and the Vestry and North Aisle roofs respectively.	-
4.3	The Nave roofs have two rainwater pipes which discharge onto the lower Aisle roofs. The Aisle rainwater goods are then aligned to these discharge points. There is no gutter break between the Chancel and the lower Vestry roof, it is formed as a continuous line but with a crease joint.	-
5.0	Below Ground Drainage:	
5.1	All the rainwater pipes discharge with swan necks into open gulleys. These are all formed in clay ware with grilles and upstand kerbs (in most cases to control the water flow). All appear clear.	-
6.0	Parapets and Upstand Walls:	
	Parapet copings are dealt with in both the roof section and the parapet to the Tower is covered under walling.	-

- 6.1 Each of the abutments to the roofs are formed with parapet copings with a single kneeler providing support. -
- 6.2 There is some significant weathering within the west North Aisle coping otherwise the others appear serviceable. Possible stone repair. E
- 6.3 West end parapet cemented with a moulded dressed capping with a considerable number of open joints particularly in the perpend. B
- 6.4 There is some noticeable movement within the right hand end of the west section which is carried through into the masonry below. Probably needs section re-building. C
- 6.5 The parapet coping that abuts the South Aisle is showing considerable weathering and delamination. The potentially loose material should be removed as this is immediately above the service door at the west end. A

7.0 Walling:

- 7.1 The masonry is of extreme variable age with the North Aisle being by far the oldest, dating back some seven to eight hundred years, the remainder of part of the rebuilding programme from the 19th Century. The masonry is hammer punched sandstone which has varying degrees of sub deposits. Pointing is also variable reflecting informed and uninformed mortar repairs over the years. Most notable points are: -

South Clerestory.

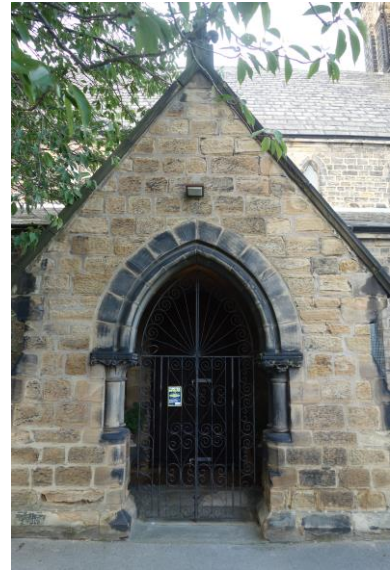
- 7.2 Particular unevenness to the top edge of the corbelled cornice indicating water damage from the gutters that sit upon it breaking up of the same. There is over pointing to the window heads in the clerestory particularly in the second, third and fourth pair of windows. Check and repair gutters (covered in 4.1). Review masonry after a year. C



South Aisle

- 7.3 There has been some settlement or movement resulting in the over pointing of joints around the left hand window. -
- 7.4 There has been some rendered repairs to stonework at high level close to the rainwater outlet. There are some minor joints in each bay at either side of the South Porch and some deep open joints forming in the next bay which then adjoins the south Transept. C
- 7.5 The lower plinth courses all display different degrees of weathering and repairs with cement based mortar used for repointing and indeed some render repair. E

- 7.6 There are some open joints within the south face of the Porch which has been subject to some very poor repointing historically which detracts otherwise from what would be some sound masonry.



D

- 7.7 There is some repointing required within the east face of the Porch.



D

- 7.8 South Transept
The upper triangular section requires significant repairs as there are some severely weathered stones and some deep open joints particularly around the left hand side of the dressed arched head to the main window.



C

- 7.9 There are deep open joints within the buttress twixt the South Aisle and Transept.

C

- 7.10 The east facing return to the south Transept is in reasonable order except for the head of the buttress where it meets the cornice corbel. Repoint.

C

7.11 The south face of the Tower rises in three stages above the Nave eaves line. The stonework appears sound although the pointing fails less well and worsens as it moves from stages one to three. There are more significant open joints in the heads of the pilasters and open joints are noticeable within the parapet work.



C

7.12 The columns have been removed from the louvred openings to the elevations.

-

7.13 The stair turret is in octagonal form sitting on a square base with two stages and are topped with a conical stone roof. There is a spandrel panel of masonry between the south Transept roof, stair turret and full Tower stay which is weathering rather excessively.



E

7.14 There are open joints in the stone top particularly on the south western faces.

C

7.15 There are open joints in the stage supporting the conical top and particularly in the stage immediately below it.

C

South Chancel.

7.16 The masonry is sound, there has been some movement from the window heads to eaves and some excessive pointing at the eastern end probably associated with some movement of the east gable kneeler.

D

7.17 There are some mortar rendered repairs to stonework just above the plinth; some open joints in the upper left hand corner which needs attention and some minor open joints in the eastern buttress and some cement pointing which could be removed when this area is repointed.



D

East End.
7.18 The masonry again is in sound condition with only isolated stones showing significant weathering. There are a small number of open joints which will require attention. D

Chancel, North Side.
7.19 The masonry again is in sound condition with only isolated stones showing significant weathering. There are a small number of open joints which will require attention. There are some stone fractures in the cornice at the rainwater head. Review in two years. C

Vestry, East Elevation.
7.20 As 6.24, but again with some over pointing around the roundel of the pair of windows. C



Tower, East.
7.21 Similar to Tower south with the columns removed from the louvred openings. -

7.22 There is distress above the right hand louvre where there are open joints associated with the corbelling for supporting the parapet work and some vegetation beginning to establish itself at that level. C



Vestry, North.
7.23 It is noticeable here the impact of the settlement of the Tower which took place towards the end of the 19th century. Allegedly it dropped about 100mm which is the reasoning for the distortion in the Vestry roof and also the unevenness of the line of the north Transept roof (and probably the south Transept roof). -

7.24 The masonry to the Vestry and Transept is sound. There has been some over pointing in both walls and there is minor distress at the top left hand corner at the Vestry. D

- 7.25 North Tower.
Is a repeat of south Tower. Note the upper section of masonry above the louvres has been repointed again the columns have been removed the clock face has been removed.



- 7.26 North Aisle.
Masonry as before. The extreme west bay has been repointed although there is still some distress noticeable with the abutment with the chimney stack. The cornice corbel supporting the gutter is again very uneven. The dip, the junction with the Tower is particularly noticeable.

- 7.27 North Aisle
The most ancient masonry. The line of the North Porch still visible where chase has been cut for flashings.

- 7.28 The ancient stonework is a softer sandstone hence the greater weathering particularly within the buttresses and dressed strings. Unfortunately there are some flue penetrations which have smashed through the moulded string below the windows in the first and second and forth bays. There are a number of open joints particularly in the plinth.



- 7.29 The weathered caps to the upper stage are faring particularly badly and will need protection in due course.

- 7.30 There is some severe weathering in the western most bay associated with the positioning of the former North Porch west wall.



North Aisle, West Elevation.

- 7.31 This is perhaps the most unevenly weathered surface of all, with attempts at repointing unfortunately with a cement based mortar which is exacerbating matters.



E

Chimney Stack

- 7.32 The stack rises from the west end above the west parapet gable where it meets the north clerestory eaves. Clearly there has been some severe weathering resulting in the over pointed and rendered repairs which are now a clear example of why not to use cement based render. A programme of repairs or removal needs to be promoted.



B

West End.

- 7.33 The later edition with well coursed sandstone blocks with a finely chiselled swan face is sound but there are some severe open pockets that need attention, particularly within the parapet.



C

7.34	There are also some minor open joints which are less urgent. There is some over pointing particularly in the lower courses which is accelerating the stone decay at this level.	C
	South Aisle, West Elevation.	
7.35	The masonry and hood mould to the window are severely weathered and open jointed.	C
8.0	Timber Porches, Doors and Canopies:	
8.1	There is a pair of timber boarded doors to the South Porch. A single boarded door to the stair turret which have been dark stained and varnished, ditto the Vestry door all with black ironmongery all in serviceable order. The North Aisle door is a well constructed oak framed door with rusted black iron pins and handles which is untreated and a good example how natural oak, if left, will outshine.	-
8.2	The west Vestry door could be softwood and has been heavily painted and is serviceable. There are some decorative iron gates protecting the South Porch.	-
9.0	Windows:	
9.1	The clerestory lights are all diamond leaded and protected with polycarbonate which provides that dull lustre. Replace protection with black finished stainless steel window guards.	E
	South Aisle.	
9.2	Windows are protected with a sheet of obscured glass set in a mastic base putty and there is galvanised metal grille which has been surfaced fixed over the rectangular part of the windows. The quatrefoil to the second west window has been over pointed with an ill chosen mix. Replace protection as 9.1.	E
9.3	The fourth window is similar but without the obscured glass protection although it does have the gauze. The sill section is breaking up. Replace protection as 9.1.	E
	South Transept	
9.4	A three light window with three roundels above. There has been some movement within the traceries and there are open joints remaining. The sill section has either cracked or has formed with the joint (but it is most unlikely) in the central section. This has been patch repaired which is now failing. Repair stonework.	C
9.5	All the openings to this window are protected with polycarbonate. Replace protection as 9.3.	E
9.6	The east window to the south Transept is a single lancet but constructed as noted in the last. Chancel south two single lancets there is some distress within the sill of the right hand window. Replace protection as 9.3.	E
	East Window	
9.7	Three lancets with traceries over, the lancets protected with polycarbonate. Masonry appears to be intact. Replace protection as 9.3.	E
9.8	Chancel north as south. Replace protection as 9.3.	E
9.9	Vestry, East. There are two lancets with a roundel above. The sill sections to the window is breaking up and will require attention. There is cracking in the springer stone rising from the central mullion to the roundel where it supports the centre of the roundel and also at the head of the mullion. Resolve detail repairs and timing.	C

- 9.10 The windows appear to be plain but with window fans or vents and these are protected by galvanised grid gauzes. -
- North Transept Aisle.
- 9.11 As South Transept. There is some distress beginning in the base of the mullions. Repair stonework. C
- North Aisle.
- 9.12 First east window okay apart from some delamination beginning in the weathered section of the sill, its glass which is protected with a gauze set on the face of the mullions not the face of the masonry. Second east window there is some deterioration within the arched head and the right hand stop mould which should bear a head has been damaged. The sill section is beginning to craze. D
- Third West Window
- 9.13 Generally sound although there is some weathering in the right hand light as it rises to form the cusps of the head and also in the very head of the traceries. The sill again is crazed and beginning to show signs of crazing. E
- Third East Window
- 9.14 The surface of the sill below the glass line is beginning to delaminate and break up. D
- North Aisle West Window
- 9.15 The window sections are heavier than any of the others. The joints within the traceries are beginning to open and the sill sections are beginning to weather rather more seriously. D
- West Wall
- 9.16 Generally sound there are some open joints requiring attention and the finial base needs resetting. C
- West Window
- 9.17 Formed in four lights with a rose window above, there is no protection to the glass. There are open joints visible within the structure of the lower parts of the tracery. C
- 9.18 The west end windows are three pairs of lights. There is some distress within the bases of the mullions and the pointing at the glass is breaking up in a number of locations. Note that the glass is all clear Georgian wired. C
- South Aisle, West Wall.
- 9.19 Again heavier sections with some significant deterioration of the joints in the head of the lancets and crack in the sill section. The windows are protected with polycarbonate and there is some deterioration in the delamination of the stonework and the upper edges of the sills. Repair stonework and replace protection as above. C

INTERNAL

10.0 Towers and Spires:

- Bell Chamber.
- 10.1 The underside of the roof structure is visible from here with two principal carrier beams running east west supporting stubs to the respective ends of the ridge. Approximately 75 x 300mm sections with a 50 x 200mm hip rafter, the stub is probably 100 square on plan. There are clear signs of distress in the wallplate sections, particularly on the east side where there are strands of vegetation associated with problematical shrub from above. The walls are neatly formed, sometimes dressed stone, all sound with well placed pointing. Bell louvres are in extremely large stone slabs with bird mesh protection internally, nylon gauze on softwood battens. A



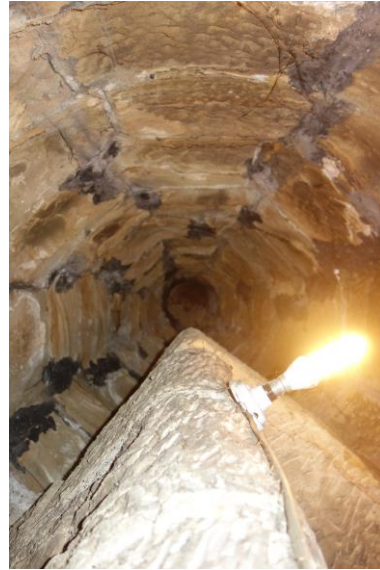
- 10.2 Centrally within the space is a timber frame structure with tubular bell. -
- 10.3 On the south side is a treated steel beam supporting a single bell. -
- 10.4 The floor is softwood which appears reasonably clean and sound. It is novel to see a vacuum cleaner at this level within a Bell Tower. -

10.5 **Clock Face Level**
 The underside of the floor above appears in good order, a number of timber beams have been replaced. The joist ends all bear onto a stone corbel as does the central principal beam. The walls again are hammer punched stone face coursed masonry, well pointed and all in good order. There are clock faces to the south and west with the drive mechanism dropping to below I suspect that the clock mechanism was originally at this level and protected with a timber enclosure with a lead top. This serves no real purpose now. Timber access ladder rises to above.



Clock Mechanism Level.
 10.6 Under side of floor to above appears sound. No replacements visible. Walls above are in good order. Two narrow slit windows to the north side show the thickness of the wall at around 900mm with some protective glass on the inner plane in a hinged frame. This appears to be made fast. Opening these up and clearing the bird guano and putting bird spikes would be good. -

Access Stairways.
 10.7 There is a turret stair spiral design all of stone. The inner lining is hammer punched dressed stone again generally sound. There are some signs of distress in the conical top. Review in two years. C



11.0 Clocks and their Enclosures:

11.1 Clock mechanism is CH Potts of Leeds with an auto start unit fitted by Smith of Derby. Current maintenance is by Hills Tower Clocks of Methley. Telephone number is 01977 557288, email address hillsTowerclocks@hotmail.co.uk.

12.0 Roof and Ceiling Voids:

12.1 There are no ceiling voids as such. There is a storage deck above the Vestry which was not accessed.

13.0 Roof Structures, Ceilings and Ceilures:

Nave Roof

13.1 Two purlins and ridge beam per side with painted 'V' jointed boarding over.

North Aisle

13.2 North Aisle roof is formed with principal rafter beam aligned with the columns of the north arcade which are offered intermediate support from an angled strut on the wall posts on the north face of the arcade to the mid-point; upon which is a purlin which in turn supports six intermediate rafters on 'V' jointed sarking board, painted red. The principal timber support is painted white. There is distress visible within the sarking board, particularly at the west end, in the bases of the principal rafters as they rise from the corbel blocks and also at the eastern end with the abutment with the north Transept. There is also distress within the moulded undercarriage to the angled strut. There is distortion in the eastern most truss where the joints have pulled (approximately 25mm reducing to relatively moderate movement of 2/3mm in the second with no pulling visible in the remainder). This correlates to the settlement of the central Tower. There are signs of similar modest movement in the remaining joints all the way to the west end. Arrange access to eaves and ceiling and obtain timber decay specialist to confirm condition.

B

Note that the roof was rebuilt, allegedly using the existing original timbers.



- 13.3 South Aisle
The South Aisle roof was built to match the North Aisle, albeit without some of the moulded additional details of the North Aisle. None of the joints to the wall post/principal beams appear to have pulled.



There is distress within the sarking board at each end where the abutments are with parapet copings or south Transept. Obtain timber decay specialist report as above.

-
B

- 13.4 South Transept
The roof is formed with rafters over mid-point purlin with a high level chord which forms an 'A' frame above the purlin. Sarking board is also 'V' jointed, again with signs of distress as abutments. Obtain timber decay specialist report as above.

B

- 13.5 Organ Loft
This can only be viewed from within the Chancel, north wall, where I can see that the construction is similar to that of the south Transept. Obtain timber decay specialist report as above.

B

- 13.6 Tower
The ceiling above the Tower is formed with ribbed beams creating nine panels decorated. There are no obvious points of distress visible.

-

- 13.7 Chancel Roof
Faceted roof in four sections following the arched brace supports. It is formed in two and one third bays, the bays being sub divided into three panels with the lower panel mirroring the roof slope, the other two panels mirroring the angle, but vertical rather than horizontal.

-

14.0	Upper Floors, Balconies, Access Stairways:	
	None.	-
15.0	Partitions, Screens, Panelling, Doors and Door Furniture:	
15.1	At the west end there is an open oak panelled wall to the height of the capitals with a cantilevered lid. The panelling is largely 'V' jointed boarding in vertical and diagonal format, whilst there is a decorated traceried hood/freeze along the leading edge of the lid.	-
15.2	There is a dark oak screen with some decoration and gilding enclosing the organ loft and there appears to be some worm which will need monitoring.	B
15.3	There is modern oak screen in the archway on the north wall of the Chancel containing the Vestry. Relatively simple modern design with panelled side screens and glazed double doors.	-
15.4	There is a fine reredos in dark oak with a central panel well decorated and gilded.	-
15.5	The doors to the Vestry are the modest single glazed panel with antique brass levers.	-
15.6	Inner doors to the west end are stout boarded construction with black ironmongery, all serviceable.	-
16.0	Ground Floor Structure, Timber Platforms:	
16.1	There are pews within the Nave which extend into the Aisles. There is a central walkway down the Nave and a side walkway on the outer walls of the Aisles. The platforms are of wide pine boarding, a little creaky although serviceable. Some minor evidence of worm which doesn't appear to be active but will need to be monitored. Note two pews have been removed from the North Aisle west end where an informal children's area has been formed. Note also that the pine boarding has been replaced with parquet flooring which is in good order. The pew platforms to the choir and the rest of the Nave and are narrow board.	-
16.2	The floor of the Chancel and Sanctuary is solid and is entirely covered in carpet. The central walkway, approach from the main west south door and the cross walkway at the head of the Nave (east end) are also carpet covered. Should be lifted periodically to check for damp.	B
16.3	The solid walkway is visible at the extremes of the North and South Aisle where stone slabs are revealed. These are distressed through damp with some delamination occurring from virtually every one. From the centre line to the east end of this walkway on the North Aisle it has been rendered/screeded. Review in two years.	C
17.0	Internal Finishes:	
17.1	All the internal walls are left as masonry within the body of the Church. It is of variable condition with a history of repointing and different degrees of severity of damp strike whether it be a water ingress from the roof or rising damp through the walls.	E
	South Aisle	
17.2	There is some severe weathering and spalling within the first two courses of masonry above floor level.	E

- 17.3 Some severe weathering in the extreme east end including the return which encloses the Lady Chapel. This stress is from wallplate down to the window and sill and meets the rising damp from floor level. There has obviously been some movement in the first east window. The distress within the wall extends into the left hand window reveal almost to the glass line.



E

- 17.4 The top stone of the left hand arch of the second window has dropped and a settlement joint above it.

E

- 17.5 Some distress on the left hand side of the main shaft door and some slight movement in the door head as well as distress within the reveals to the opening.

E

- 17.6 There has been some movement in the third east window noticeable in the stone cornice, the window head and from sill to ground, there is also a fracture in the stone mullion associated with the lower saddlebar.

E

- 17.7 There has been movement in the head of the fourth east window within the head, the arched section of the right hand light and from sill to ground level. There is distress above the west window (of the South Aisle). Water runnels to the left and movement at the head, including the arched head central stone having dropped. Repoint and monitor.

A

- 17.8 There is distress in the first east bay on the south side of the south arcade.

C

Nave

- 17.9 There is some distress within the south arcade particularly in the eastern most spandrel.



E

- 17.10 There is some decay of the stonework within the clerestory lights particularly towards the glass line. A more detailed inspection will be required from a cherry picker.

B

17.11 Similarly to north arcade the distress at the west end and again decay of stonework within the window reveals. C

17.12 There are no obvious water runnels in the east wall (Tower). -



North Aisle

17.13 There is significant distress within the west wall from window head upwards and returning onto the north wall in the first partial bay. -

17.14 Settlement in the north door is evident from the head to the eaves. -

17.15 There has been some movement in the first west window where the two highest stones of the stone arch have dropped slightly. Review in two years. C

17.16 There has been movement in the second west window again in the head and in the third window ditto. Review in two years. C

17.17 There is some decay of the stonework to the central mullion of window number two. -

17.18 The limestone mullion to the third west window is losing its face and there has also been some movement in the left hand reveal of this window. Review in two years. -

17.19 The fourth west window has got some severe water ingress at its head, particularly to the right hand side and down the reveal. Investigate in two years.



7.20 The bottom three courses of masonry along the length of this Aisle are suffering severely from efflorescence and spalling of stone face and the limestone string is also showing signs of aggressive salting. Investigate and remedy. C

17.21 The efflorescence is also evident behind the screen to the organ loft. Investigate and remedy. C

- 17.22 There is water ingress and salting occurring in the spandrel panels immediately below the North Aisle roof below the clerestory. Investigate and remedy. C
- 18.0 Fittings, Fixtures, Furniture and Movable Articles:**
- 18.1 There are pine pews throughout the Nave and Aisles which are of robust construction. The front pew has been replaced by the Mayoral pew. -
- 18.2 There is a limestone pulpit with solid stone steps which are suffering from damp strike. There is no handrail. Investigate options for resolution. C
- 18.3 Within the Tower are the choir pews which are nicely designed oak with linen fold pattern to the frontals and raised fielded panels backs to the pews themselves and priest chair is similar design as part of the suite. -
- 18.4 There is simple frontal storage cabinet on the south wall of the Chancel; an oak communal rail on wrought iron decorated support; an oak solid panelled pulpit (actually it's just the front, it's a table from behind). There is also a side table and Bishop's chair. -
- 19.0 Toilets, Kitchens, Vestries, etc:**
- Rector's Vestry
- 19.1 Plasterboard ceiling which is beneath the storage deck. The south and west walls are timber boarded whereas the remaining walls are stone faced and surprisingly little signs of distress. It is just the Vestry window which I can now see the glass line has been raised by about 300mm block infill which is why the construction is failing on the outside. Floor appears to be solid and is carpet covered and not visible. E
- Choir Vestry
- 19.2 An extension from the original building with a boarded ceiling with ribbed beading. Signs of the damp strike are historic. Walls are papered, again with signs of some distress, on the north side this is associated with the redundant chimney stack (which I recommend be removed). At the southern end it is the lower section of the buttress to the west wall from door head height the walls are virtually entirely panelled with 'V' jointed moulded boarding which relates to cupboards on the east and south walls and wainscoting to the remainders. -
- 19.3 The floor is sound with a carpet finish with barrier matting to the doorway positions and also the Kitchen area fashioned at the north side. This incorporates a stainless steel sink with drainer and modest cupboards and fridge. -
- 19.4 A lobby arrangement to the north west corner leads to a washbasin and a further two steps to a further extension which includes a lavatory. There is some distress within the ceilings which relates to the felted roof above. Roof repair required prior to reinstatement. C
- 19.5 The walls are entirely tiled. The floor is covered with sheet vinyl which is pulled on the northern side. -
- 20.0 Organs and other Musical Instruments:**
- 20.1 Organ is JW Walker & Sons Limited, London 1973 which I presume is the time which it moved the Vestry to its current position.
- 21.0 Monuments, Tombs, Plaques, etc:**
- 21.1 The monuments have been recorded formally by the local Family History Group and a copy is held in the Terrier. The fixings should be checked periodically. C

22.0	Service Installations General:	
22.1	The electrical services, heating apparatus and other building services were not tested as part of this inspection. Recommendations on testing these, together with servicing/annual maintenance on other equipment and fittings is outlined elsewhere in the report.	
23.0	Heating Installation:	
	Heating System	
23.1	An appropriately qualified engineer should make a proper examination and test of the heating apparatus, each summer before the heating season begins.	
23.2	The system is primarily on gas fired convector heaters each individually flued through the external wall. It was last checked September 2017 and is subject to a maintenance contract. New alternative forms of heating as part of a larger review should be conserved.	C
24.0	Electrical Installation:	
24.1	The electrical installation should be tested every five years, by a competent electrical engineer or electrician registered by the NICEIC. A resistance and earth continuity test should be obtained on all circuits. The engineer's test report should indicate where the installation does not comply with current British Standard, and kept with the Church Log Book. This present report is based on a visual inspection of the main switchboard and of certain sections of wiring selected at random, without the use of instruments.	
24.2	The last inspection took place in 2009, thus the inspection is due (follow the recommendations as stated).	A
24.3	The lighting is of its time and proposal for replacement to a more easily controlled LED system should be investigated.	C
25.0	Sound System:	
25.1	There is a sound reinforcement system and hearing loop.	-
26.0	Lightning Conductor:	
26.1	There's another down conductor from the lightning conductor system which is on the face of this wall.	
26.2	Note that the lightning conductor tape drops on this south face and follows through to the stair turret to ground.	
26.3	The system is due for testing.	A
27.0	Fire Precautions:	
27.1	Last serviced May 2017.	-
28.0	Disabled Provision and Access:	
28.1	An access audit has not been carried out recently. Wheelchair access is manageable into the Church although pews are on platforms which limits access.	
29.0	Safety:	
29.1	Noted points where stone delamination may result in falling debris.	

- 30.0 Bats:**
30.1 None.

CURTILAGE:

- 31.0 Churchyard:**
31.1 The Churchyard is open for internment of ashes.

- 32.0 Ruins:**
None.

- 33.0 Monuments, Tombs and Vaults:**
33.1 None.

34.0 Boundary Walls, Lychgates and Fencing:

- 34.1 Some boundary wall ownerships are not known.
- 34.2 South boundary particularly vulnerable. (Adjacent building is fire damaged). -
- 34.3 The north boundary wall to the terraced properties is random coursed stone with sections of poor quality and in need of attention. C
- 34.4 The east boundary to Church Street is built of good sized stone blocks although there are a considerable number of open joints; some are particularly deep. C

35.0 Trees and Shrubs:

- 35.1 There are no Tree Preservation Orders.

Hardstanding Areas:

- 36.1 Access to the Churchyard is from Church Street through a narrow gateway with very poor visibility to the south.

37.0 Miscellaneous:

- 37.1 Building insurance is index linked and was last assessed in 2014.

38.0 Log Book:

- 38.1 The Log Book has been lost. The wardens are trying to collect information to create a record and bring up to date.
- 38.2 The Terrier was last signed off in November 2014.

RECOMMENDATIONS

Repairs

Items referred to within the text of the report are given priorities by reference to the following:-

Priority A - Urgent Works Requiring Immediate Attention

Clear gutters and remove vegetation	3.2, 3.13
Open joints allowing water penetration	3.3
Remove boards and inspect gutter	3.3
Repairs needed to flashing	3.4, 3.8, 3.12
Cracked and slipping slates	3.12
Uneven and displaced slates	3.13
Remove vegetation at stack from Tower	3.21
Gap between mortar fillet and slate	3.24
Remove loose stone material above service door	6.5
Clear signs of distress in wallplate sections and vegetation	10.1
Repoint/monitor section above west window (South Aisle)	17.7
Electrical inspection now due	24.2
Lightning conductor system due for testing	26.3

Priority B - Works Recommended to be carried out during the next 12 Months

Slipping slates and disturbance of ridge tiles	3.6
Permanent repair needed to flashings/flashband	3.11, 3.15
Disturbance and adjustment to line of flashings	3.14
North slope showing signs of possible settlement	3.17
Vegetation in junction between abutment and transept	3.17
Slate replacement necessary	3.20, 3.23
Felt roof close to renewal and outlets prone to blockage	3.28
Check joints of rainwater goods	4.1
Open joints in need of attention	6.3
Repairs needed due to cement based render	7.32
Arrange access for specialist to confirm condition	13.2, 13.3, 13.4, 13.5
Monitor possible worm presence	15.2
Periodically lift carpet to assess floors	16.2
Inspection of stonework required using cherry picker	17.10

Priority C - Works Recommended within 12 – 24 months

Consider re-roofing	3.1
Reset coping stone	3.7
Tailed and clipped slates indicate nail fatigue	3.9, 3.25
Signs of cracking in mortar at eastern abutment	3.16
Mortar haunching failing and will need attention	3.18
Monitor undulation at junction of parapet copings	3.26
Edge details of flat roof to be monitored	3.27
Movement noted through masonry	6.4
Water damage to corbelled cornice	7.2
Open joints requiring attention	7.4, 7.8, 7.9, 7.10, 7.11 7.14, 7.15, 7.19, 7.20, 7.22 7.34, 7.35, 9.16, 9.17, 9.18
Severely weathered stones in need of repair	7.8, 7.35
Open pockets in sandstone blocks	7.33
Over pointing accelerating stone decay	7.34
Sill section cracked and stonework in need of repair	9.4, 9.9, 9.11
Finial base needs resetting	9.16
No protection to glass	9.17
Distress within bases of mullions	9.18
Stonework repairs and replacement of glass protection	9.19
Signs of distress in conical top of turret stair	10.7

Distress to stone slabs through damp and delamination	16.3
Signs of distress in stonework	17.8, 17.11
Decay of stonework within window reveals	17.11
Review movement in two years	17.15, 17.16
Investigate water ingress at head of window	17.19
Investigate and remedy damp penetration	17.20, 17.21, 17.22, 18.2
No handrail to pulpit	18.2
Felted roof repair needed to extension	19.4
Periodically check fixings of monuments/plaques	21.1
Consider alternative heating as part of larger review	23.2
LED lighting system to be considered	24.3
Boundary wall sections of poor quality needing attention	34.3
Open joints at east boundary wall	34.4

Priority D - Works Recommended to be carried out during the Quinquennial Period

Side abutment and ridge bedding breaking up	3.10
Open joints and poor pointing	7.6, 7.16, 7.17, 7.18, 7.24
	7.28
Repointing required	7.7
Some movement at window heads and kneeler	7.16
Significant weathering to masonry	7.18
Uneven cornice corbel supporting gutter	7.26
Flue penetrations smashed through moulded string	7.28
Deterioration of stonework and crazing	9.12
Delamination of stonework	9.14
Joints within traceries beginning to open	9.15

Priority E - Works Desirable but not Critical in this Quinquennium

Possible stone repair needed due to weathering	6.2, 7.5, 7.13, 7.30, 7.31
	17.2, 17.3
Weathered caps in need of protection	7.29
Replace window protection with black stainless steel guards	9.1, 9.2, 9.3, 9.5, 9.6, 9.7
	9.8
Distress in window sill/signs of crazing	9.6, 9.13
Internal walls of variable condition and affected by damp	17.1
Movement and signs of distress within walls	17.3, 17.5, 17.6
Settlement joint above window in left hand arch	17.4
Fracture in mullion associated with saddlebar	17.6
Distress within south arcade	17.9
Block infill to Vestry window	19.1

GENERAL GUIDANCE NOTES

- A** Electrical installation. Any electrical installation should be tested at least every quinquennium by a registered (ECA, NAPIT, NICEIC or other) electrician. Any repairs or maintenance to the system (excluding additions) must be certified for industrial or commercial work and accredited by UKAS. Such works are scheduled under List 'A' (Faculty Jurisdiction Rules 2015), for which consultation is not required. A resistance and earth continuity test should be obtained on all circuits. The equipment should display a note of the date of the inspection and when the next inspection is due. The engineer's test report should be kept with the Church Log Book. This present report is based upon a visual inspection of the main switchboard and of certain sections of the wiring selected at random, without the use of instruments.

- B** Lightning conductor. Any lightning conductor should be tested every quinquennium in accordance with the current British Standard by a competent engineer approved by the Church Insurers. The record of the test results and conditions should be kept with the Church Log Book. Any work required must be undertaken by an engineer approved by the Church Insurers. Such works are scheduled under List 'A' (Faculty Jurisdiction Rules 2015), for which consultation is not required.
- C** Heating equipment. A qualified engineer should carry out a proper examination and test of the heating apparatus each summer before the heating season begins. Any work required to a gas fitting must be carried out by a person registered under OFTEC or on the Gas Safe Register. Such works are scheduled under List 'A' (Faculty Jurisdiction Rules 2015), for which consultation is not required.
- D** Fire extinguishers. A minimum of two water type fire extinguishers (sited adjacent to each exit) should be provided plus additional special extinguishers for the organ and Boiler House, as detailed below. Large Churches will require more extinguishers. As a general rule of thumb, one water extinguisher should be provided for every 250 square metres of floor area.

Summary:

Location	Type of Extinguisher
General Area	Water
Organ	CO ₂
Boiler House: Solid fuel boiler	Water
Gas fired boiler	Dry Powder
Oil fired boiler	Foam (or dry powder if electricity supply to boiler room cannot easily be isolated).

A competent engineer should inspect all extinguishers annually to ensure that they are in good working order. Further advice can be obtained from the Fire Prevention Officer of the Local Fire Brigade and from your Church Insurers. The introduction, removal or disposal of fire extinguishers are scheduled under List 'A' (Faculty Jurisdiction Rules 2015), for which consultation is not required.

- E** Asbestos. Regulation of the Control of Asbestos at Work Regulations 2002 became law in 2004. This regulation creates a legal duty to manage asbestos in non-domestic premises. Parishes therefore need to find out whether any building in their care contain asbestos. If they do, an assessment of its condition and the risk to users has to be made and a plan to manage that risk must be drawn up. The publication 'Managing asbestos: your new legal duties' can be downloaded from www.hse.gov.uk and should help in drawing up the management plan. A copy of the completed plan should be kept into the Log Book.
- F** Insurance. The PCC is reminded that insurance cover should be index-linked, so that adequate cover is maintained against inflation of building costs. Contact should be made with the insurance company to ensure that insurance cover is adequate.
- G** Buried elements. Woodwork or other parts of the building that are covered, unexposed or inaccessible have not been inspected. The Advisor cannot therefore report that any such part of the building is free from defect.
- H** Repair and maintenance. Although the Measure requires the Church to be inspected every five years, it should be realised that serious trouble may develop in between these surveys if minor defects are left unattended. The Care of Churches and Ecclesiastical Jurisdiction Measure 1991 requires that the Churchwardens make an annual inspection of the fabric and furnishings of the Church, including the safety of Churchyard headstones and other grave markers and prepare a report for consideration by the meeting of the PCC before the Annual Parochial Church Meeting. This must then be presented with any amendments made by the PCC, to the Annual Parochial Meeting.


The PCC is strongly advised to enter into contract with a local builder for the cleaning-out of gutters and downpipes twice a year. Such works are scheduled under List 'A' (Faculty Jurisdiction Rules 2015), for which consultation is not required.

Further guidance on the inspection and the statutory responsibilities are contained in How to Look After Your Church. The Churchwarden's Year gives general guidance on routine inspections and house keeping and general guidance on cleaning is given in Handle with Prayer, both published for the CCC by Church Housing Publishing.

J Nature of this Report. This is a summary report only, as required by the Inspection of Churches Measure. **It is not a specification for the execution of the work and must not be used as such.** Your Inspecting Architect is willing to help the PCC in implementing the recommendations and will, if so required, prepare a specification, seek tenders and oversee the repairs.

K Legality of repairs. Some of the suggested works will be scheduled under List 'A' (Faculty Jurisdiction Rules 2015), for which consultation is not required. Others will be scheduled under List 'B' (Faculty Jurisdiction Rules 2015), for which consultation with the Archdeacon **is** required and a notice is given in writing that such works can be undertaken without Faculty. Works that can be undertaken under each List are shown under Schedule 1 of The Faculty Jurisdiction Rules 2015 (Statutory Instrument 2015 No.1568: Ecclesiastical Law, England). Your Inspecting Architect is willing to advise the PCC on these lists and on which repairs will require Faculty.

PREPARED AND ISSUED BY:



.....
STEPHEN M CALVERT
PEARCE BOTTOMLEY ARCHITECTS

Chronology of consultation process for Castleford

Information taken from Form P2A supplied by the Diocese and the Bishop's response to the representations received

Pre-draft proposals

December 2016	Working group established to discuss the ongoing mission needs of the parish and to review the buildings
February 2017	Working group commissioned a "Living Stones" audit and report
June 2017	PCC received the Working Group's report
June 2019	PCC passed a resolution to seek the closure of Hightown All Saints
Later in June 2019	Wakefield AMPC agreed to consult interested parties on the closure of Hightown All Saints
October 2019	Team Rector resigned his post PCC further considered the vision of the parish and how to attract a new Team Rector
February 2020	PCC passed a second resolution to seek the closure of three of the four churches following recommendations from this visioning group that closing churches one by one would not be an attractive offer to an incoming Team Rector
June 2020	Wakefield AMPC agreed to consult interested parties on revised proposals. Discussions had also taken place with a possible developer who was interested in the church sites and in building the new worship centre

Draft proposals

12 August 2021	Draft proposals circulated to the interested parties (delay due to Covid pandemic) – Section 6 consultations
12 August 2021	S6(5) or S6(6) meetings offered to incumbent, team vicar, PCC
16 August 2021	Date of views given by the Area/Rural Dean and the Local Planning Authority
6 September 2021	Date of views given by Duchy of Lancaster, Patron
10 September 2021	Date of views given by the Archdeacon
13 September 2021	Date of views given by incumbent

20 September 2021	Date of views given by PCC
23 September 2021	Date of views given by team vicar
5 October 2021	Date CBC reports for all three churches received under S21(6)(b)
12 October 2021	Date of views given by Lay Chairman of Deanery Synod
12 October 2021	Date of Diocesan Mission and Pastoral Committee's S21(8) consideration of views and proposals
28 February 2022	Date of Diocesan Mission and Pastoral Committee's supplementary consideration of proposals
30 March 2022	Date draft proposals sent by DMPC to Bishop
1 April 2022	Date of Bishop's approval of draft proposals
5 April 2022	Date signed proposals sent by DMPC to all interested parties under S22(2)

The proposals received from the diocese were for closure and demolition of the three churches in Castleford. Before the Commissioners can publish a scheme for demolition they have to seek the advice from the Statutory Advisory Committee of the CBC. Due to shortage of staff at the SAC this took some time. Following advice received it was agreed to publish three draft Schemes for closure only.

Draft Scheme

9 August 2023	Draft Schemes published
9 August 2023	Copy of draft Scheme and covering letter sent to all those who could be identified who had cremated remains of family members buried in the churchyards at the three churches proposed for closure
17 August 2023	Public drop-in session arranged by diocese for any member of the public to come and discuss the draft schemes
15 January 2024	Those who made representations were invited to a meeting by the diocese to discuss their concerns

ANNEX H: Castleford photos

St Paul Glasshoughton

External South side



External West end



Internal from chancel



Chancel



Internal looking towards chancel



Garden of Rest



St Michael and All Angels, Castleford

Exterior



Interior looking East



Interior looking West



Chancel



All Saints, Hightown

South view of church



Interior looking West



Representations (redacted) regarding St Paul, Glasshoughton

Against

1. Catherine Gallear
2. Betty Hepworth
3. Shirley Hepworth
4. Jodie Jackson
5. Christine Lockwood
6. Katy Maw
7. Jessica Richardson

In favour (of all three draft Schemes)

1. Fr Keith Freeman
2. Gwen Furmston
3. Margaret Gallagher
4. Christopher Ladley
5. Judith Ladley

Comments and queries received

1. Ruth Cotton
2. Rob Farr
3. Linda Hutt

Against

1. Catherine Gallear (St Paul, Glasshoughton)

Dear Katie,

I'm Cate Gallear, my dad M' Brian Gallear's remains are buried at St Paul's Church, Castleford, he sadly passed away aged just 49 yrs, I was 21 yrs, he had been my sole caret since I was 5 yrs. We had a service for him at St Paul's Church then a cremation, the undertaker told me of the option of the memorial garden at St Paul's, my dad had lived in the area and spent a lot of time there in his youth so it just felt right, also a comfort to me at the time as there was room for me too. I unfortunately started with symptoms of Multiple Sclerosis, after keeping this to myself for a long time I was diagnosed in 2007 to which they agreed it started back then.

The stress I have felt since hearing the sad news about the church is haunting, I fear that his grave stone will end up outside his old back door, which is where I still live and the sad heartbreaking decisions I had to make at

that time even harder, it makes me feel I have let him down, losing him suddenly and being the one that found him I believe it triggered my MS, it is all consuming.

I hope for the church and everyone else that this can be resolved with the main aim of not having to remove our loved ones however long or short they left us, lets hope the amounts of money that we hear gets wasted in government and local government a decision can be made to keep our family members and our peace of mind in tact

On behalf of M' Brian Gallear
yours sincerely
Catherine Gallear

2. Betty Hepworth (St Paul, Glasshoughton)

ST. PAULS - CASTLEFORD

3rd September 2023

For the attention of Katy Rowe

I am the sister of Mr. Brian Gallen whose ashes are among many at St. Pauls.

When his ashes were placed in the care of the church, it was never expected that after such a short time in my life that there would be the possibility that they could be removed for whatever reason, because it wasn't a burial it doesn't make it any less traumatic or due any less respect and dignity for myself and the family, you picture your loved one there and know he is safe and you can visit him whenever you wish which gives comfort to us all

I can't believe that if it was a burial you would even be considering this after such a short time and there will be others who will be feeling the same who feel unable

to challenge the proposals of the church and their loved ones may have been in the case of the church. For even less time than my brother and it will be having an impact on them also.

I do not use the internet and because of mobility problems due to Osteo Arthritis I am unable to travel to London but would ask you to keep in touch with me regarding developments on the first proposal

Thanking you,

Betty Hepworth.

3. Shirley Hepworth (St Paul, Glasshoughton)

Dear Katie

I am writing to you regarding the consultation on proposals by the Diocese of Leeds to close the Church of St Paul, Glasshoughton.

I have discussed this in previous emails with the Rector and Diocese of Leeds but was told nothing could be considered until this point in proceedings.

My uncle died at a relatively young age. He was cremated and his remains interred at St Paul around 30 years ago. When you bury a family member, you expect it to be for at least your lifetime and hopefully forever, without disturbance.

The length of time he has been interred means recovery of his ashes and casket is extremely unlikely. If the church was to be closed, this could mean redevelopment of the land where his remains are, which would be distressing. When I raised this with the Rector in previous correspondence, he pointed out the Church view that the body is merely a receptacle for the spirit. I think most people, if asked,

would disagree with him - it's why we have people still visiting cemeteries years after people pass. You wouldn't expect to see building work on such land while there is surviving family.

When I heard about this initially, I looked at what the legislation said around burial and family objection

<https://www.legislation.gov.uk/ukpga/1981/18/2013-11-06>.

For most burial land, there is protection while there is surviving family. My MP raised this legislation with the relevant government Minister, who replied to say the CofE is exempt. How can it be acceptable that if Uncle Brian was interred in a Council run cemetery, we would be able to prevent this and have some rights because the law recognises the needs and wishes of families but because Church land is exempted, we don't have those same protections? It doesn't seem fair or morally right.

That means the only hope we have is that some provision can be made to safeguard the land the burial took place on and that you note the unlikely ability to relocate our family member.

I am unable to put my case in person at a hearing. This written objection is all I can offer.

Yours sincerely

Shirley Hepworth

4. Jodie Jackson (St Paul, Glasshoughton)

I am writing to you as I am against the closure of this beautiful church. Both my children's schools use this church for various occasions as this church is the biggest and can fit everyone inside comfortably. It's a beautiful building in a good state of repair! My husband has been to cut the grass a few times, it's a beautiful place. My Father in laws ashes are buried in the memorial garden at this church, my mother in law has been informed that his ashes could also be moved if the closure goes ahead as the building isn't listed so can be sold, knocked down and built on. I don't believe anyone who has been laid to rest should EVER be moved. This makes me feel so sad as a Christian that this could happen. St.Paul's church is the biggest church, in the best state of repair and covers the Glasshoughton area, the furthest away from Parrish church in town. It makes sense out of the 3 churches to be closed to keep st.Paul's open for our community. The church has been used quite a bit recently for funerals. I live a few houses down from the church so have seen this myself. Please don't close this beautiful church.

5. Christine Lockwood (St Paul, Glasshoughton)

Nature of interest in case

Against closure of St Paul's Church Castleford

Is your representation for or against the draft scheme or order (required)

Against

Representation:

Every family occasion has been held in this church for years on our family. I think we should be encouraging more families into the local churches in Castleford which is expanding not closing our doors to them. More events should be arranged to encourage young people to attend. The church is an important part of the local glasshoughton community and its influence is really needed right now to help combat the anti social behaviour that is seeping into this town. I hope you will reconsider.

6. Katy Maw (St Paul, Glasshoughton)

Nature of interest in case

Local Resident

Is your representation for or against the draft scheme or order (required)

Against

Representation:

I am against the proposed draft as a local resident I see daily the good work the church provides to our local schools. The children have a great relationship with our vicar. I also have a long family history with this church my late dad was Church warden and worked very hard on the upkeep of the building and grounds. My late mum was also heavily involved with the church. As a family we also have relatives ashes on site and I think it abhorrent to be moving people's headstones etc from there final place of rest and causing so much upset to their families. The Church has barely been open since covid, so local residents don't get the chance to use it even if they wanted to!

7. Jessica Richardson (St Paul, Glasshoughton)

Hi, I am writing to inform you that I do not wish for the church to be closed.

Reasons for:

This is the church both my kids schools do performance and events.

They help the local community

I have lived across the street from this church. Witnessed wedding and all sorts.

Thanks Jessica

In favour

1. Fr Keith Freeman (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Subject: Response to Consultation for Closure for Worship of St Paul's Glasshoughton, St Michaels Smawthorne and All Saints' Hightown

Dear Katie,

I would like to offer my support for the above and am prepared to make personal representation if required. I write in my capacity as Rector of Castleford Team Parish and my views are my own and do not seek to represent anyone else, not least of all the PCC. My reasons for supporting the closures are as follows:

1. Finances are currently diminishing and therefore so are the resources in order to maintain the buildings to the required safety standards for public buildings. It must therefore be assumed that there will come a point where the buildings may have to close anyway. If this happens, without the kind of plan this consultation offers, all sorts of issues will arise regarding dereliction, vandalism, maintenance for cremated remains etc.
2. Congregations are reducing in size and increasing in age, therefore there are less people unable to keep things going.
3. Currently we are spending all our resources on keeping going the best we can, rather than on the mission to the community and the building of God's kingdom. Thus any effort in trying to grow is negated.
4. We are falling short of what needs to be achieved in relation to all our quinquennial reports.
5. Parish share hasn't been paid for some considerable time and by some considerable amount.
6. None of the above has been as a direct result of Covid but a progression of decline that has been on the PCC agenda for many decades. Although it may be acknowledged that Covid has added to the issue.
7. Even on our most well-attended week, taking all the congregations across all the churches from all the services that week, we still wouldn't half fill the Parish Church.
8. At the moment we are maintaining four large churches for a handful of people, whereas what we need to do is hold more events in less buildings, thus maximising our limited resources, improve the possibility of paying the parish share and praying that people encountering a lively vibrant worshipping community, rather than a few people scattered around a poorly maintained church, may attract more people to give their time to the church and grow it.
9. In the end I believe this approach, whilst accepting that it will be painful for some to accept, at least offers a way of dealing with the inevitable in a way that is dignified for all and offers hope for the future, rather than a long, drawn out and messy death of the churches concerned.

Your Sincerely Fr Keith Freeman (Rector)

2. Gwen Furmston (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Dear Katie

Closure of Castleford Churches, in particular St Paul's Glasshoughton

As a church treasurer of St Francis, south Tenerife and as Archdeaconry Treasurer of Gibraltar in the Diocese of Europe, I can fully understand the need to close some of the churches. Therefore, I would have to vote in favour.

However, I do have some personal concerns:

What is going to happen to the building and land, once it is deconsecrated?

What will happen to the human remains buried there?

Will the families have the opportunity to retrieve the ashes?

You may think that the urns and ashes will have decomposed as I think in the UK the urns are of a wooden construction. My husband died and was cremated in Tenerife where we lived and I still do. The urns here are metal and his ashes were buried in the grounds of St Paul's church, and I would expect that they are still intact. We were married in 1967 and renewed our vows in 2007 at All Saints church Hightown where I also attended until my marriage and so have a close link with two of the churches due to close. The ashes are buried in the grounds of St Paul's church which is near to my daughter. My children and grandchildren belonged to the brownies, guides and cub scouts at St Paul's. Will we have the opportunity to retrieve the ashes and if so when and what would be the procedure?

My general concerns are for the worshippers of all the churches due to close.

For some, who can no longer drive and rely on public transport, is this going to be taken into account when the service times are arranged at All Saints church Castleford? Has any thought been given to how they will be able to attend church in the future? At least one of the churches has a purpose built church hall, fully equipped for catered functions. What will happen to the equipment?

It is going to leave a vast area without Church facilities from Methley to the town centre covering such areas as Whitwood, Cutsyke, Hightown and Glasshoughton.

I appreciate that some of these questions are for the future and may well crop up at the meeting after the 18th September which unfortunately, due to my health, I will not be able to attend, but would very much like to join the zoom meeting. If the meeting is not held on zoom, will the minutes of the meeting be circulated and any further questions answered.

Yours sincerely



Gwen Furmston

3. Margaret Gallagher (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Dear Katie

Thank you for the letters regarding the draft scheme, glossary and notice for the churches of St Paul Glasshoughton, St Michael and All Angels Castleford and All Saints High Town. I have not petition to make.

All good wishes

Margaret

[A further email of 23 January 2024 Margaret Gallagher confirmed that her representation was in favour of the closure of the three churches]

4. Christopher Ladley (St Paul, Glasshoughton)

Katie Lowe
Church Commissioners
Church House
Great Smith Street
London
SW1P 3AZ

23rd August 2023

Dear Katie

**DRAFT PASTORAL CHURCH BUILDING SCHEME - ST PAUL'S CHURCH
GLASSHOUGHTON CASTLEFORD**

In response to a Notice posted on 8th August 2023 I write as a Parishioner and PCC member of Castleford Team Parish to comment on the proposal to close St Paul's Church, Glasshoughton, Castleford for worship.

If appropriate, I would like to have an opportunity to speak to the Commissioners regarding my representation if a hearing is held.

I feel that over a number of years Castleford Team Parish has fallen into 'survival mode' and has not been strong on mission and evangelism.

Consequently, after a lot of careful thought, I have come to the conclusion that I fully support the proposal to close St Paul's Church for worship as one part of an overall proposal to additionally close St Michael's and All Saints (Hightown) Churches for worship and make new investment in All Saints Church, Castleford (The Parish Church) as the base for Anglican worship and mission in Castleford.

It has not been an easy decision for me or the PCC to make and I fully appreciate the huge emotional and spiritual impact such a decision will have on the congregation and wider community but the present situation in the Team Parish is unsustainable for the following reasons:

- The Number of people on the electoral roll has fallen significantly in recent years
- The number of people regularly worshipping in the Team Parish churches is declining
- The current congregation is ageing
- Income has declined
- Costs are increasing
- The Team Parish does not currently manage to meet its full Parish Share contribution
- All the buildings within the Team Parish have significant repair liabilities
- The Team Parish has very limited capital funds
- The number of active volunteers is limited
- Running four churches and three halls places a strain on Clergy and Volunteers.
- Dealing with the practicalities of running four churches and three halls diverts

effort away from outreach and new initiatives

- Specifically, St Paul's church take a significant portion of the Team Parish annual revenue funding for utilities, safety inspections and repairs but has a regular weekly worshipping congregation of under five people

I do, however, firmly believe that this situation can be turned around and there are positive signs within the Parish to indicate this. Since the appointment of the current Rector there is a renewed sense of purpose and mission. This has been helped by new younger people joining the PCC and congregation.

Albeit in an early stage, we are beginning to see the Church reconnect with the wider community of Castleford to touch lives for good through such things as pastoral visits, school and care home connections, establishing a regular Messy Church and running a weekly Dementia Friendly 'Pop up' Café.

These initiatives rely heavily on a small number of dedicated volunteers who are also involved in supporting worship and occasional offices and the upkeep of the church buildings. I am one such volunteer and understand how frustrating it is trying to reach out into the community to do God's work when distracted by so many practical property problems and costs.

The closure of this and other churches in the Castleford Team Parish when seen in isolation can be seen as a negative and regressive step unless it is linked to new investment to be made in the Parish Church. Closing this and other churches for worship will substantially reduce the current drain on limited human and financial resources and free up time, energy and money that can then be realized on more mission and evangelism activity. It will also potentially ultimately provide capital to invest in making the Parish Church fit for purpose in the 21st Century.

It is also possible to take a Secular view of the Team Parish as a 'business'. The state of the buildings make them liabilities not assets due to the state of disrepair, income is falling, costs are rising and there is a decline in 'customers' and the consequent strategy has been for survival not growth. Any business in this situation either continues in the same mode and goes out of business or it reduces its liabilities and costs, realizes assets to re-invest and refreshes its offer to find new customers. I realise that the Anglican Church is fundamentally much more than buildings and money but I think the analogy is appropriate to the situation in Castleford Team Parish at the moment. I believe that if the proposed radical changes are not made the conclusion in a worst case scenario would be that there would be no Anglican Church presence in Castleford at some point in the future.

I appreciate the range of emotions that the closure of this church for worship will bring but I do not see an alternative and fervently hope that a new purpose for the property can be found that will be of value to the community of Castleford.

Yours Sincerely

Christopher John Ladley

5. Judith Ladley (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Hi Katie.

I am a worshipper, and volunteer in Castleford Team Parish and I am in favour of the schemes to close the churches of St Paul's, St Michael's and All Saints Hightown for worship. This is so we can concentrate on running one church and spend more of our time getting out into the community and growing our church.

I was on the PCC when we passed the resolution to ask for these three churches in the Parish to be closed (17 in favour and 2 not voting) and I want to make you aware of my reasons for voting for that decision.

At the moment a lot of time and energy is wasted because there are few people able or willing to make an effort to look after the church buildings, we don't have the money to look after them properly and a lot of time is taken up in PCC meetings on small details. Also the three churches need money spent on lighting and heating etc. but their congregations are small and getting smaller so fewer people are contributing and we can't pay our full Parish Share. It feels like we are running just to stand still.

As a committed christian I want to be out in the community doing things that touch people's lives with God's love but at the moment I am mentally and physically exhausted by trying to do too many things at once. For example - as well as being PCC Secretary, I clean church premises, run a weekly Dementia Friendly Cafe, volunteer for Messy Church, other children's activities and pastoral work. It is my faith that keeps me going but it is being tested at the moment. I am not alone in this and most of the small number of active volunteers in the Team Parish are from the congregation of the Castleford Parish Church and feel the same way.

There are some good things starting to happen in the parish such as Messy Church and we have got some younger people on the PCC who are keen to get involved so there is hope for the future but we don't need all these buildings. If we can close these three churches it means that people like me will have more time to devote to going out into the community and bringing new people into church.

If the Church Commissioners decide to hold a hearing I would like to be able to give my views to them in person.

Thank You

Judith Ladley

Comments and queries received

1. Ruth Cotton (St Paul, Glasshoughton)

Nature of interest in case

Family ashes in grounds

Is your representation for or against the draft scheme or order (required)

Comment (neither for nor against)

Representation:

The ashes on the entire Cotton family bar 1 are buried in the grounds of St.Paul's Church ,Glasshoughton . I would like to know what is going to happen to them please ?

2. Rob Farr (St Paul, Glasshoughton)

Query:

My Grandads memorial stone is located in the grounds of St Paul's church.
If the site is to be closed I would like to retrieve
It if possible please.

Further comment from Rob: Im particularly interested in what is going to happen to my Grandfathers memorial stone in the grounds of St Pauls.
His name is Lawrence Redfearn.

3. Linda Hutt (St Paul, Glasshoughton)

Hi my name is Linda Hutt my mum and dad are both buried in the grounds of St Pauls church Castleford could you tell me if e church is being sold and what will i have to do about my mum and dads ashes and any help i can get Linda

Representations (redacted) regarding All Saints, Hightown

Against

1. John Wood
2. Lewis Wood

In favour (of all three draft Schemes)

1. Fr Keith Freeman
2. Gwen Furmston
3. Margaret Gallagher
4. Christopher Ladley
5. Judith Ladley

Against

1. John Wood (All Saints, Hightown)

Nature of interest in the case

Parishioner of Hightown church

Is your representation for or against the draft scheme or order (required)

Against

Representation:

I strongly object to the closure of All Saint's Hightown Church. It has been a place of worship and solace all my 52 years. I was confirmed there in the 1980's and my Maternal/ Paternal Grandparents, My Great Aunts/ Uncles and my dear Mother were all Christened and Married there, most of whom are even buried in the church grounds. The last of which was my Mother who was interred in November 2022. Although the church in some people's eyes is under used I would like to say that it is very much being used as a place of worship for a few people and it was being used by the Castleford Male Voice Choir as a much admired concert venue. The church was also being utilised by many groups - one of which was the Alzheimer's society. There has been countless Weddings / Christenings and Burials which have taken place here and will be missed by many if it was to close. The church has undergone recent refurbishment which was done to a very high standard. I believe this Church should be kept open to the public and it's consecrated burial grounds be untouched FOREVER. Furthermore the other Churches should also remain part of the community and their structures should NEVER be demolished but simply and sympathetically be refurbished and repurposed for the good of everyone if necessary.

2. Lewis Wood (All Saints, Hightown)

Nature of interest in case

Ex Church Warden and Parishioner of Hightown church

Is your representation for or against the draft scheme or order (required)

Against

Representation:

“In my humble opinion, if there was a choice between which church was going to close out of all the churches in Castleford I WOULDN'T choose Hightown...”

Castleford Parish Church:

The 'Parish' is dark and dingy and so impersonal, the alter is too far from the congregation, it has very limited parking for large occasions and crucially no church hall.

As an alternative it could be a great place to have a museum highlighting the history of Castleford as it sits almost to the entrance of the old Lagentium Roman Fort.

St Paul's, Glasshoughton:

Although St Paul's is a lovely clean church, it too suffers with poor parking facilities making it difficult for attendees of weddings and funerals and again has no church hall.

St Michael, All Angels, Smawthorne lane:

Sadly this church for me has a very poor design, it's too large to keep it warm, the large area also makes sound echo resulting in awful sound quality for the congregation at the rear of the church.

In it's favour it does have a church hall and plenty of space for cars but I feel the faults outweigh the positives.

All Saints, Hightown Church:

Another clean church which has plenty of history, it should really be a listed property.

The alter is near the congregation so it feels more inclusive, and not 'them and us'

The church has a bell tower with a peel of three bells. There is parking at the back and side of the church and also has the use of the Saville Park cricket field car park opposite.

The church has a lovely hall at the back with good facilities and has been used in the past by small groups. This could be utilised more and hired out for funeral teas or small parties.

Hightown is probably one of the largest developed areas in Castleford and with that in mind I can only see this church being used as a place of worship or a community hub and should NEVER be demolished.

“I believe that what ever happens in the near future, my hope is that all the historic buildings in Castleford should be saved from demolition. We have lost far too many beautiful structures over the years and it's with that in mind I feel that Castleford has lost it's true identity somehow.

One final thing is that all the graves in these church yards are mainly in consecrated ground and any idea that these graves could be moved is clearly outrageous and should NEVER be considered, it would be a very sad day for Castleford for this to EVER happen”

In favour

1. Fr Keith Freeman (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Subject: Response to Consultation for Closure for Worship of St Paul's Glasshoughton, St Michaels Smawthorne and All Saints' Hightown

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Yours sincerely



Gwen Furmston

3. Margaret Gallagher (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Dear Katie

Thank you for the letters regarding the draft scheme, glossary and notice for the churches of St Paul Glasshoughton, St Michael and All Angels Castleford and All Saints High Town. I have not petition to make.

All good wishes

Margaret

[A further email of 23 January 2024 Margaret Gallagher confirmed that her representation was in favour of the closure of the three churches]

4. Christopher Ladley (All Saints, Hightown)

Katie Lowe
Church Commissioners
Church House
Great Smith Street
London
SW1P 3AZ

23rd August 2023

Dear Katie

**DRAFT PASTORAL CHURCH BUILDING SCHEME – ALL SAINTS (HIGHTOWN)
CHURCH CASTLEFORD**

In response to a Notice posted on 8th August 2023 I write as a Parishioner and PCC member of Castleford Team Parish to comment on the proposal to close All Saints (Hightown) Church, Castleford for worship.

If appropriate, I would like to have an opportunity to speak to the Commissioners regarding my representation if a hearing is held.

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Consequently, after a lot of careful thought, I have come to the conclusion that I fully support the proposal to close All Saints (Hightown) Church for worship as one part of an overall proposal to additionally close St Michael's and St Paul's Churches for worship and make new investment in All Saints Church, Castleford (The Parish Church) as the base for Anglican worship and mission in Castleford.

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- The number of active volunteers is limited
- Running four churches and three halls places a strain on Clergy and Volunteers.
- Dealing with the practicalities of running four churches and three halls diverts effort away from outreach and new initiatives
- Specifically, All Saints (Hightown) takes a significant portion of the Team Parish annual revenue funding for utilities, safety inspections and repairs. Also the church needs constant repairs to the roof and the church tower requires major capital investment to address structural issues.

I do, however, firmly believe that this situation can be turned around and there are positive signs within the Parish to indicate this. Since the appointment of the current Rector there is a renewed sense of purpose and mission. This has been helped by new younger people joining the PCC and congregation.

Albeit in an early stage, we are beginning to see the Church reconnect with the wider community of Castleford to touch lives for good through such things as pastoral visits, school and care home connections, establishing a regular Messy Church and running a weekly Dementia Friendly 'Pop up' Café.

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I appreciate the range of emotions that the closure of this church for worship will bring but I do not see an alternative and fervently hope that a new purpose for the property can be found that will be of value to the community of Castleford.

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At the moment a lot of time and energy is wasted because there are few people able or willing to make an effort to look after the church buildings, we don't have the money to look after them properly and a lot of time is taken up in PCC meetings on small details. Also the three churches need money spent on lighting and heating etc. but their congregations are small and getting smaller so fewer people are contributing and we can't pay our full Parish Share. It feels like we are running just to stand still.

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If the Church Commissioners decide to hold a hearing I would like to be able to give my views to them in person.

Thank You

Judith Ladley

Representations (redacted) regarding St Michael and All Angels, Castleford

Against

1. June Burrows

In favour (of all three draft Schemes)

1. Fr Keith Freeman
2. Gwen Furmston
3. Margaret Gallagher
4. Christopher Ladley
5. Judith Ladley

Comments and queries received

1. Samantha Brown

Against

1. **June Burrows (St Michael and All Angels, Castleford)**

June attends St. Michael's Church for Sunday worship on a regular basis and also the Knit and Natter group held weekly in the church hall. She enjoys this and, though she cannot do handicrafts, looks forward to the Christmas party, and the friendship of the group.

JUNE OBJECTS TO THE CHURCH CLOSURE for the following reasons:

1. St Michael's is closer to her home. She can walk there and has no busy roads to cross. She is frightened of falling.

2. Castleford: All Saints (the Parish church) is further away from home, has busy roads to cross and there is a subway. Taxis would be expensive.

3. June claims to have made a will leaving a legacy to St Michael's Church.

Could you please, in your response, give guidance as to what has to happen regarding this?

In favour

1. Fr Keith Freeman (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Subject: Response to Consultation for Closure for Worship of St Paul's Glasshoughton, St Michaels Smawthorne and All Saints' Hightown

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Dear Katie

Closure of Castleford Churches, in particular St Paul's Glasshoughton

As a church treasurer of St Francis, south Tenerife and as Archdeaconry Treasurer of Gibraltar in the Diocese of Europe, I can fully understand the need to close some of the churches. Therefore, I would have to vote in favour.

However, I do have some personal concerns:

What is going to happen to the building and land, once it is deconsecrated?

What will happen to the human remains buried there?

Will the families have the opportunity to retrieve the ashes?

You may think that the urns and ashes will have decomposed as I think in the UK the urns are of a wooden construction. My husband died and was cremated in Tenerife where we lived and I still do. The urns here are metal and his ashes were buried in the grounds of St Paul's church, and I would expect that they are still intact. We were married in 1967 and renewed our vows in 2007 at All Saints church Hightown where I also attended until my marriage and so have a close link with two of the churches due to close. The ashes are buried in the grounds of St Paul's church which is near to my daughter. My children and grandchildren belonged to the brownies, guides and cub scouts at St Paul's. Will we have the opportunity to retrieve the ashes and if so when and what would be the procedure?

My general concerns are for the worshippers of all the churches due to close.

For some, who can no longer drive and rely on public transport, is this going to be taken into account when the service times are arranged at All Saints church Castleford? Has any thought been given to how they will be able to attend church in the future? At least one of the churches has a purpose built church hall, fully equipped for catered functions. What will happen to the equipment?

It is going to leave a vast area without Church facilities from Methley to the town centre covering such areas as Whitwood, Cutsyke, Hightown and Glasshoughton.

I appreciate that some of these questions are for the future and may well crop up at the meeting after the 18th September which unfortunately, due to my health, I will not be able to attend, but would very much like to join the zoom meeting. If the meeting is not held on zoom, will the minutes of the meeting be circulated and any further questions answered.

Yours sincerely



Gwen Furmston

3. Margaret Gallagher (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Dear Katie

Thank you for the letters regarding the draft scheme, glossary and notice for the churches of St Paul Glasshoughton, St Michael and All Angels Castleford and All Saints High Town. I have not petition to make.

All good wishes

Margaret

[A further email of 23 January 2024 Margaret Gallagher confirmed that her representation was in favour of the closure of the three churches]

4. Christopher Ladley (St Michael and All Angels, Castleford)

Katie Lowe
Church Commissioners
Church House
Great Smith Street
London
SW1P 3AZ

23rd August 2023

Dear Katie

DRAFT PASTORAL CHURCH BUILDING SCHEME – ST MICHAEL AND ALL ANGELS CHURCH, CASTLEFORD

In response to a Notice posted on 8th August 2023 I write as a Parishioner and PCC member of Castleford Team Parish to comment on the proposal to close St Michael's Church, Castleford for worship.

If appropriate, I would like to have an opportunity to speak to the Commissioners regarding my representation if a hearing is held.

I feel that over a number of years Castleford Team Parish has fallen into 'survival mode' and has not been strong on mission and evangelism.

Consequently, after a lot of careful thought, I have come to the conclusion that I fully support the proposal to close St Michael's Church for worship as one part of an overall proposal to additionally close St Paul's and All Saints (Hightown) Churches for worship and make new investment in All Saints Church, Castleford (The Parish Church) as the base for Anglican worship and mission in Castleford.

It has not been an easy decision for me or the PCC to make and I fully appreciate the huge emotional and spiritual impact such a decision will have on the congregation and wider community but the present situation in the Team Parish is unsustainable for the following reasons:

- The Number of people on the electoral roll has fallen significantly in recent years
- The number of people regularly worshipping in the Team Parish churches is declining
- The current congregation is ageing
- Income has declined
- Costs are increasing
- The Team Parish does not currently manage to meet its full Parish Share contribution
- All the buildings within the Team Parish have significant repair liabilities

- The Team Parish has very limited capital funds
- The number of active volunteers is limited
- Running four churches and three halls places a strain on Clergy and Volunteers.
- Dealing with the practicalities of running four churches and three halls diverts effort away from outreach and new initiatives
- Specifically, St Michael's Church take a significant portion of the Team Parish annual revenue funding for utilities, safety inspections and repairs but has a regular weekly worshipping congregation of less than ten people. In addition the building requires significant capital investment in a new heating system.

I do, however, firmly believe that this situation can be turned around and there are positive signs within the Parish to indicate this. Since the appointment of the current Rector there is a renewed sense of purpose and mission. This has been helped by new younger people joining the PCC and congregation.

Albeit in an early stage, we are beginning to see the Church reconnect with the wider community of Castleford to touch lives for good through such things as pastoral visits, school and care home connections, establishing a regular Messy Church and running a weekly Dementia Friendly 'Pop up' Café.

These initiatives rely heavily on a small number of dedicated volunteers who are also involved in supporting worship and occasional offices and the upkeep of the church buildings. I am one such volunteer and understand how frustrating it is trying to reach out into the community to do God's work when distracted by so many practical property problems and costs.

The closure of this and other churches in the Castleford Team Parish when seen in isolation can be seen as a negative and regressive step unless it is linked to new investment to be made in the Parish Church. Closing this and other churches for worship will substantially reduce the current drain on limited human and financial resources and free up time, energy and money that can then be focussed on more mission and evangelism activity. It will also potentially ultimately provide capital to invest in making the Parish Church fit for purpose in the 21st Century.

It is also possible to take a Secular view of the Team Parish as a 'business'. The state of the buildings make them liabilities not assets due to the state of disrepair, income is falling, costs are rising and there is a decline in 'customers' and the consequent strategy has been for survival not growth. Any business in this situation either continues in the same mode and goes out of business or it reduces its liabilities and costs, realises assets to re-invest and refreshes its offer to find new customers. I realise that the Anglican Church is fundamentally much more than buildings and money but I think the analogy is appropriate to the situation in Castleford Team Parish at the moment. I believe that if the proposed radical changes are not made the conclusion in a worst case scenario would be that there would be no Anglican Church presence in Castleford at some point in the future.

I appreciate the range of emotions that the closure of this church for worship will bring but I do not see an alternative and fervently hope that a new purpose for the property can be found that will be of value to the community of Castleford.

Yours Sincerely

Christopher John Ladley

5. Judith Ladley (St Michael and All Angels, Castleford; All Saints, Hightown; and St Paul, Glasshoughton)

Hi Katie.

I am a worshipper, and volunteer in Castleford Team Parish and I am in favour of the schemes to close the churches of St Paul's, St Michael's and All Saints Hightown for worship. This is so we can concentrate on running one church and spend more of our time getting out into the community and growing our church.

I was on the PCC when we passed the resolution to ask for these three churches in the Parish to be closed (17 in favour and 2 not voting) and I want to make you aware of my reasons for voting for that decision.

At the moment a lot of time and energy is wasted because there are few people able or willing to make an effort to look after the church buildings, we don't have the money to look after them properly and a lot of time is taken up in PCC meetings on small details. Also the three churches need money spent on lighting and heating etc. but their congregations are small and getting smaller so fewer people are contributing and we can't pay our full Parish Share. It feels like we are running just to stand still.

As a committed christian I want to be out in the community doing things that touch people's lives with God's love but at the moment I am mentally and physically exhausted by trying to do too many things at once. For example - as well as being PCC Secretary, I clean church premises, run a weekly Dementia Friendly Cafe, volunteer for Messy Church, other children's activities and pastoral work. It is my faith that keeps me going but it is being tested at the moment. I am not alone in this and most of the small number of active volunteers in the Team Parish are from the congregation of the Castleford Parish Church and feel the same way.

There are some good things starting to happen in the parish such as Messy Church and we have got some younger people on the PCC who are keen to get involved so there is hope for the future but we don't need all these buildings. If we can close these three churches it means that people like me will have more time to devote to going out into the community and bringing new people into church.

If the Church Commissioners decide to hold a hearing I would like to be able to give my views to them in person.

Thank You

Judith Ladley

Comments and queries received

1. Samantha Brown (St Michael and All Angels, Castleford)

Is your representation for or against the draft scheme or order (required)

Comment (neither for nor against)

Representation:

I note in the proposals that the demolition of the church of St Michael's and All Angels was requested by the PCC. I agree with the Bishop and would also like to request that this does not happen as I worry that the building will be demolished and more housing would be built there. I would like to see the church be sold to a community group/charity at a reasonable cost, taking into consideration the condition of the building, for use of the local residents as a priority over any/all business investment.

I would like to be kept informed by the Pastoral (Church Buildings Disposal) Scheme of any schemes they may prepare and publish regarding this church.

Bishop's supplementary views: Castleford

Dear Katie and Joanna

My responses to your questions are as follows:

1/

The original decision had been to publish one scheme for the closure of the three churches. Following advice from the Church Commissioners, three separate schemes were publicised. It has always been the intention that the three churches should all be considered for closure at the same time. The PCC wish to be released from the burden of maintaining all four churches so that they have the time, energy and finances to focus on mission and ministry for the whole town from All Saints, the parish church. It would be a great disappointment if the Committee did not decide to close all three churches. If this was the case, the diocese would still wish to continue with the schemes to close the other two churches. It would not depend on which scheme was not to proceed.

2/

The Polish community and their priest would be made most welcome at the Parish Church. Provision would be made to allow them to continue to hold their dedicated service once a month. This congregation, and the ministry to them, is valued by the parish.

3/

The final decision about the future of the hall at St Michael and All Angels will depend on finding a sustainable new use for the church building.

4/

There is disabled access at All Saints Castleford.

+Nick

The Rt Revd Nicholas Baines
Bishop of Leeds

Dear Bishop Nick

As per our normal practice, your response was sent to all the representors (and copied to interested parties) who were given until today at 10am to make any further comment.

The only response was from Mr Christopher Ladley who wished to confirm that his representations in favour of the schemes stand.

This being the case, no further comment from you is required but, in addition to the information Katie requested below, if you wish to make any further comments, please send them to me by next Tuesday 12th March.

Best wishes
Joanna

Joanna Chandler-Clarke

Pastoral Case Officer

Dear Bishop Nick

The Sifting Committee of the Mission, Pastoral and Church Property Committee has asked for some further information regarding these cases, and I would be very grateful for your response, if possibly, by next Tuesday 12 March please.

As you know separate draft Schemes were published for each of the parish churches in Castleford (apart from All Saints, Castleford) to be declared closed for regular public worship. If the Committee decided that one of the schemes should not proceed would the diocese wish to continue with the schemes to close the other two churches? Would this depend upon which scheme was not to proceed?

The Sifting Committee noted that there was a Polish community congregation worshipping at the church of St Michael and All Angels once a month. Is any provision being made for them to continue their services elsewhere if the Church should close?

You say that you would expect the church hall at St Michael and All Angels to remain open while the church and hall at All Saints Castleford were refurbished. Would you expect it to be closed once the refurbishment was completed?

Is there disabled access at All Saints, Castleford or, if not, would this be provided as part of the refurbishment?

I am copying my colleague, Joanna, into this email and would be grateful if you could copy your reply to her please.

I look forward to hearing from you.

With all best wishes

Katie

Katie Lowe
Pastoral Case Officer